

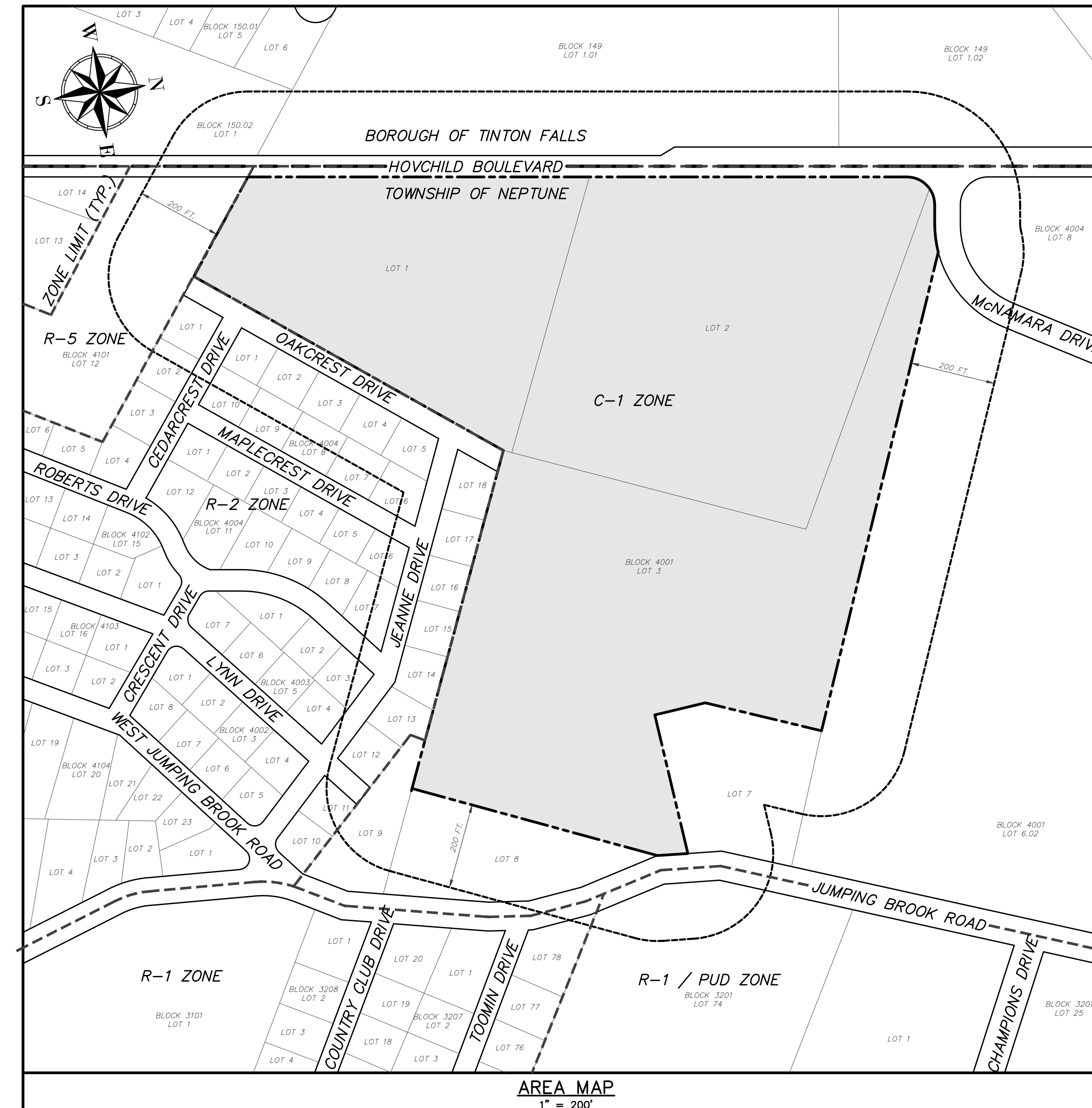
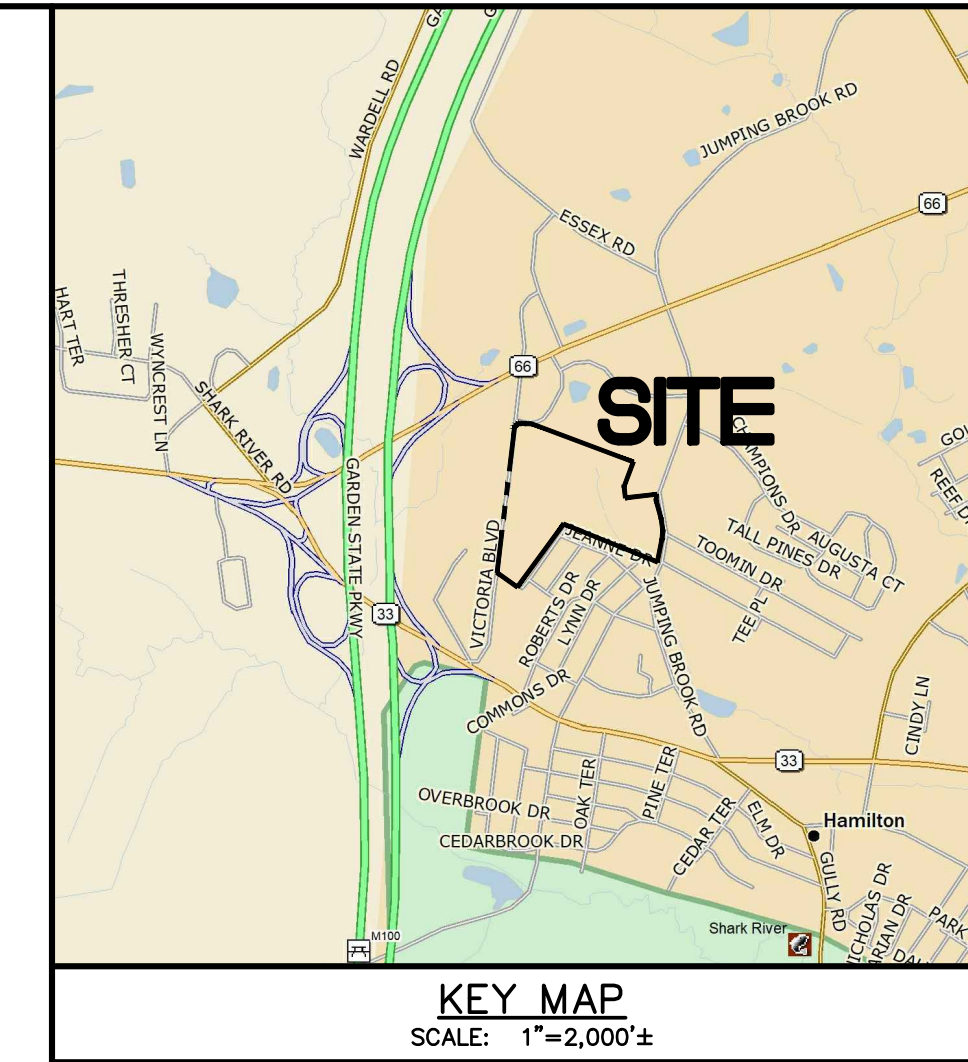
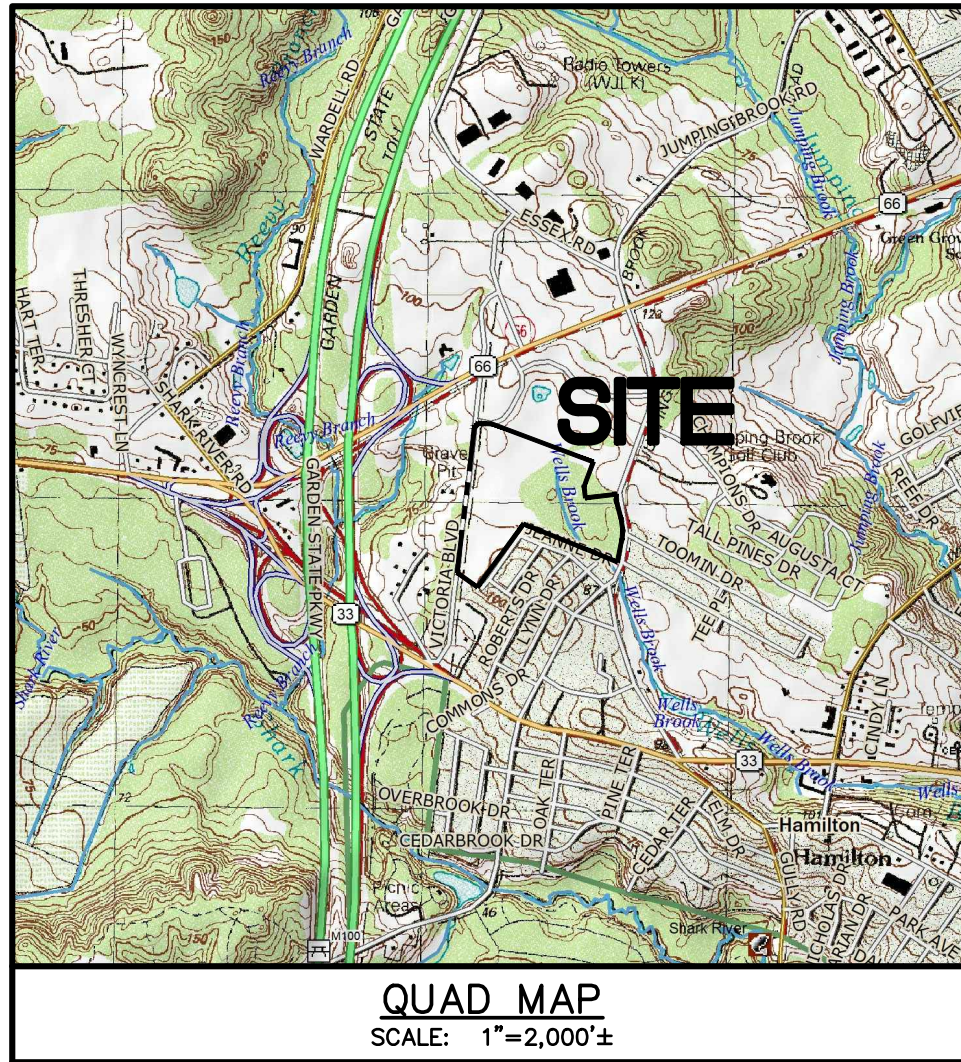
PRELIMINARY AND FINAL MAJOR SUBDIVISION

FOR

VICTORIA GARDENS

BLOCK 4001 - LOTS 1, 2 AND 3

TOWNSHIP OF NEPTUNE MONMOUTH COUNTY NEW JERSEY



PROPERTY OWNERS LIST WITHIN 200 FT.

PROVIDED BY THE NEPTUNE TOWNSHIP CLERK IN JULY 2021

Table listing property owners within 200 feet of the site, including names, addresses, and city/state/zip.

PROVIDED BY THE TINTON FALLS TOWNSHIP CLERK IN JULY 2021

Table listing property owners within 200 feet of the site, including names, addresses, and city/state/zip.

GENERAL NOTES:

- List of 17 general notes regarding property boundaries, zoning, construction requirements, and environmental considerations.

OWNER / APPLICANT

HOVSON'S INC.
4000 ROUTE 66
TINTON FALLS
NEW JERSEY 07753-7300

APPROVED BY THE PLANNING BOARD
OF THE TOWNSHIP OF NEPTUNE,
MONMOUTH COUNTY, NEW JERSEY

CHAIRPERSON DATE
ADMINISTRATIVE OFFICER DATE
BOARD ENGINEER DATE

INDEX OF DRAWINGS

Table listing drawing sheets and titles, including Cover Sheet, Overall Development Plan, Test Pit Plan, etc.

SUPPLEMENTAL DRAWINGS

Table listing supplemental drawing sheets and titles, including Tree Save Plan, Final Plat, Boundary & Topographic Survey.

OWNERSHIP OF DOCUMENTS

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Table tracking document ownership, including date, description, and initials.

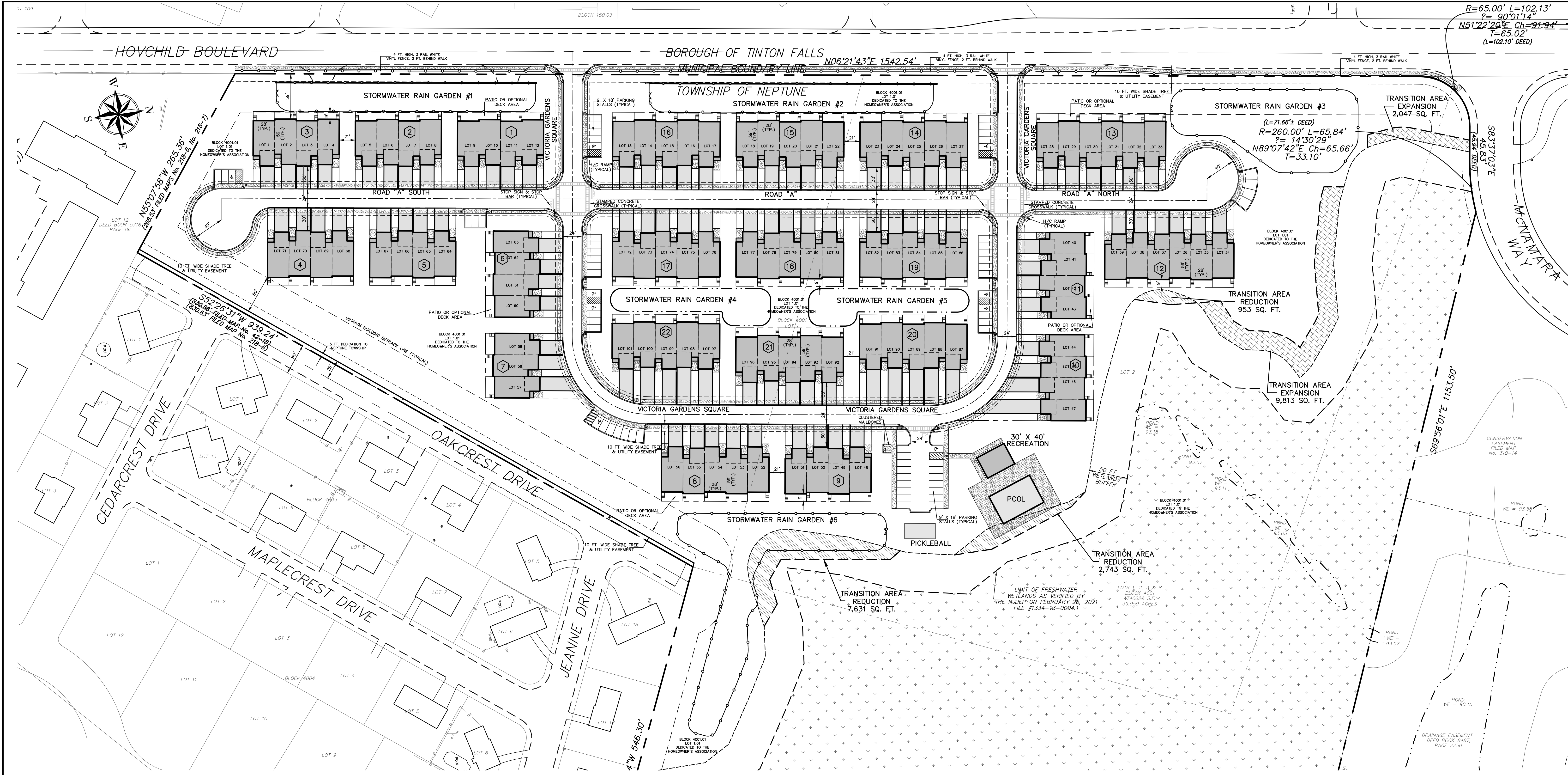
Professional Design Services, L.L.C. logo and contact information, including address, phone, and website.

Professional Design Services, L.L.C. logo and contact information, including address, phone, and website.

I HEREBY CERTIFY THAT TO THE BEST OF MY KNOWLEDGE THESE PLANS AND REPORTS HAVE BEEN PREPARED IN CONFORMANCE WITH THE RESIDENTIAL SITE IMPROVEMENT STANDARDS N.J.A.C. 5:21.

Graham J. MacFarlane, P.E. NJ LIC # 37170

SCALE: AS SHOWN DATE: MAY 25, 2021 JOB NUMBER: 321644 SHEET 1 OF 34

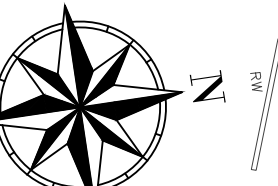


R=65.00' L=102.13'
 ?= 90°11'14"
 N51°22'20"E Ch=91.94'
 T=65.02'
 (L=102.10' DEED)

HOVCHILD BOULEVARD

BOROUGH OF TINTON FALLS
 MUNICIPAL BOUNDARY LINE N06°21'43"E 1542.54'

TOWNSHIP OF NEPTUNE



N55°17'38"W 265.36'
 (CRS & FILED MAPS No. 218-8, No. 218-7)

S52°26'31"W 939.24'
 (CRS & FILED MAPS No. 40-19) (300.6' FILED MAP No. 418-B)

S69°56'01"E 1153.50'

CONSERVATION EASEMENT FILED MAP No. 310-14

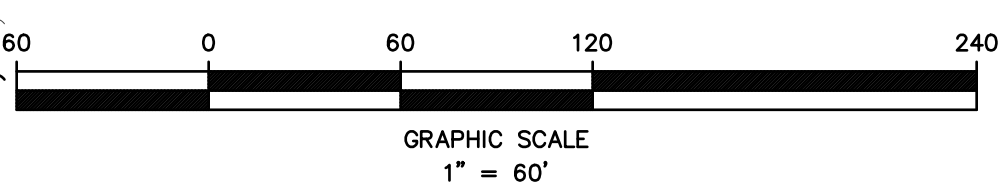
ZONING REQUIREMENTS (C-1 DISTRICT)

| | REQUIRED | TRACT PROVIDED | TOWNHOUSE LOT PROVIDED (1) |
|---|-------------------|-------------------|----------------------------|
| MINIMUM LOT AREA | 2.5 ACRES | 37 ACRES | 0.065 ACRES |
| MAXIMUM DENSITY | 3.4 D.U. PER ACRE | 2.7 D.U. PER ACRE | 2.7 D.U. PER ACRE |
| MAXIMUM FLOOR AREA RATIO | 0.6 | 0.1 | 0.77 |
| MINIMUM LOT WIDTH | 500 FT. | 1,640 FT. | 28 FT. |
| MINIMUM LOT FRONTAGE | 500 FT. | 1,540 FT. | 28 FT. |
| MINIMUM LOT DEPTH | 600 FT. | 1,510 FT. | 101 FT. |
| MINIMUM FRONT YARD SETBACK | 50 FT. | 50 FT. | 30 FT. |
| MINIMUM SIDE YARD SETBACK | 30 FT. | 60 FT. | 0 FT. |
| MINIMUM COMBINED SIDE YARD SETBACK | 60 FT. | 100 FT. | 0 FT. |
| MINIMUM REAR YARD SETBACK | 40 FT. | 40 FT. | 10 FT. |
| MAXIMUM PERCENT BUILDING COVERAGE | 30% | 10.6% | 58.4% |
| MAXIMUM PERCENT TOTAL LOT COVERAGE | 65% | 28% | 85.0% |
| MAXIMUM NUMBER OF STORIES | 2 | 2 | 2 |
| MAXIMUM BUILDING HEIGHT | 40 FT. | 28.3 FT. | 28.3 FT. |
| MINIMUM IMPROVABLE AREA | 84,900 SQ. FT. | 764,000 SQ. FT. | 2,828 SQ. FT. |
| MINIMUM IMPROVABLE AREA DIAMETER CIRCLE | 189 FT. | 290 FT. | 28 FT. |

(1) - "C" VARIANCES REQUIRED FOR EACH TOWNHOUSE LOT.

LEGEND

- EXISTING EDGE OF PAVEMENT
- EXISTING CURB
- EXISTING DEPRESSED CURB
- PROPOSED CURB
- PROPOSED DEPRESSED CURB
- EXISTING WOODLINE
- PROPOSED WOODLINE
- PROPOSED PAINTED STOP BAR
- PROPOSED HANDICAP RAMP
- PROPOSED OVERHEAD DOOR
- PROPOSED BUILDING I.D. SIGN
- PROPOSED STOP BAR
- PROPOSED 4" PAINTED YELLOW LINE
- PROPOSED RETAINING WALL
- PROPOSED FENCE
- FRESHWATER WETLANDS
- BUILDING #
- PROPOSED BLOCK #
- PROPOSED LOT #



OWNERSHIP OF DOCUMENTS

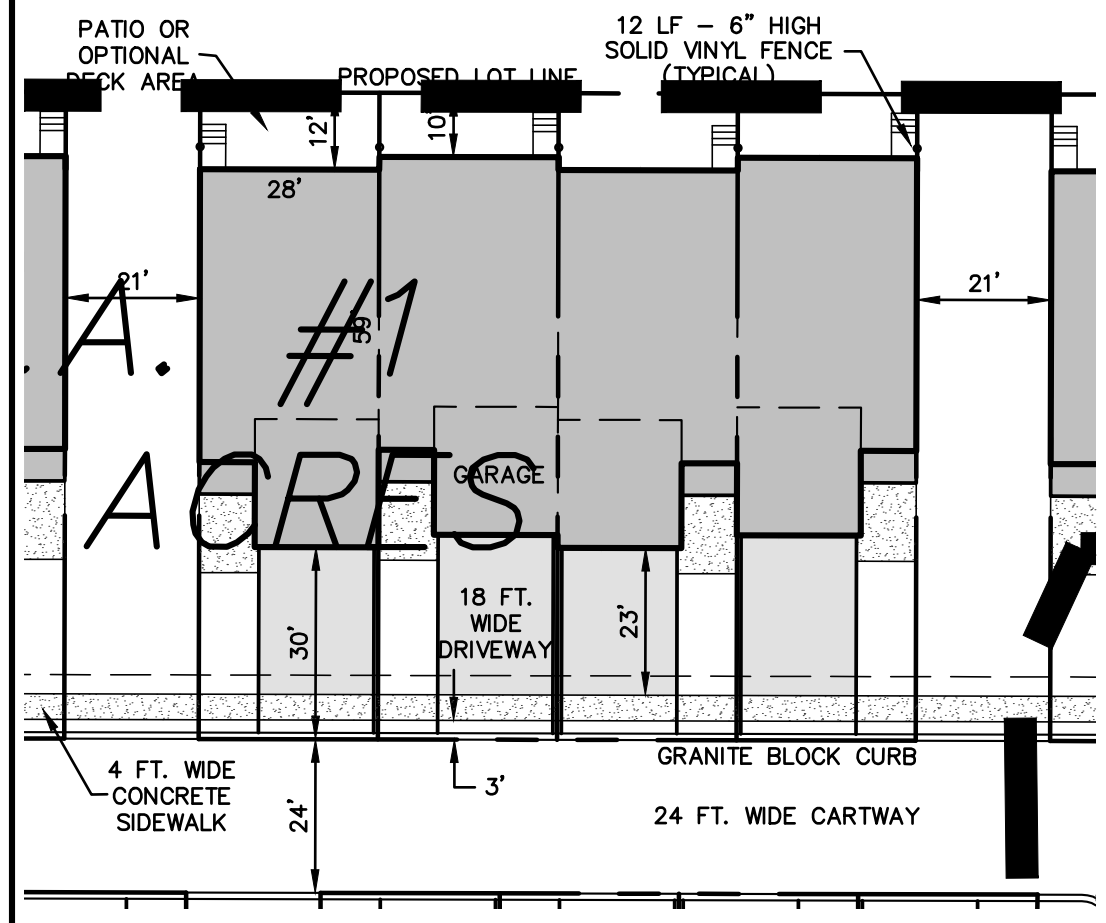
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| NO. | DATE | REVISION | BY |
|-----|---------|---|-----|
| 3 | 11/8/21 | REVISED PER NEPTUNE ZONING BOARD OF ADJUSTMENT ENGINEER | SDC |
| 2 | 8/23/21 | ADDED LOT & BLOCK NUMBERS | SDC |
| 1 | 8/3/21 | REVISED PER N.J.A.C. | SDC |

PARKING CALCULATIONS

| LAND USE | UNITS | PARKING REQUIRED | REQUIRED | PROVIDED |
|---------------------|---------------|------------------|--------------|------------|
| 4 BEDROOM TOWNHOUSE | 101 | 2.4 PER UNIT | 243 | 252 |
| RECREATION | 1,200 SQ. FT. | NONE | 0 | 17 |
| | | | TOTAL | 269 |

NOTE: PARKING IS PROVIDED WITH ONE (1) GARAGE & ONE (1) DRIVEWAY SPACE PER UNIT PLUS 62 ADDITIONAL SPACES

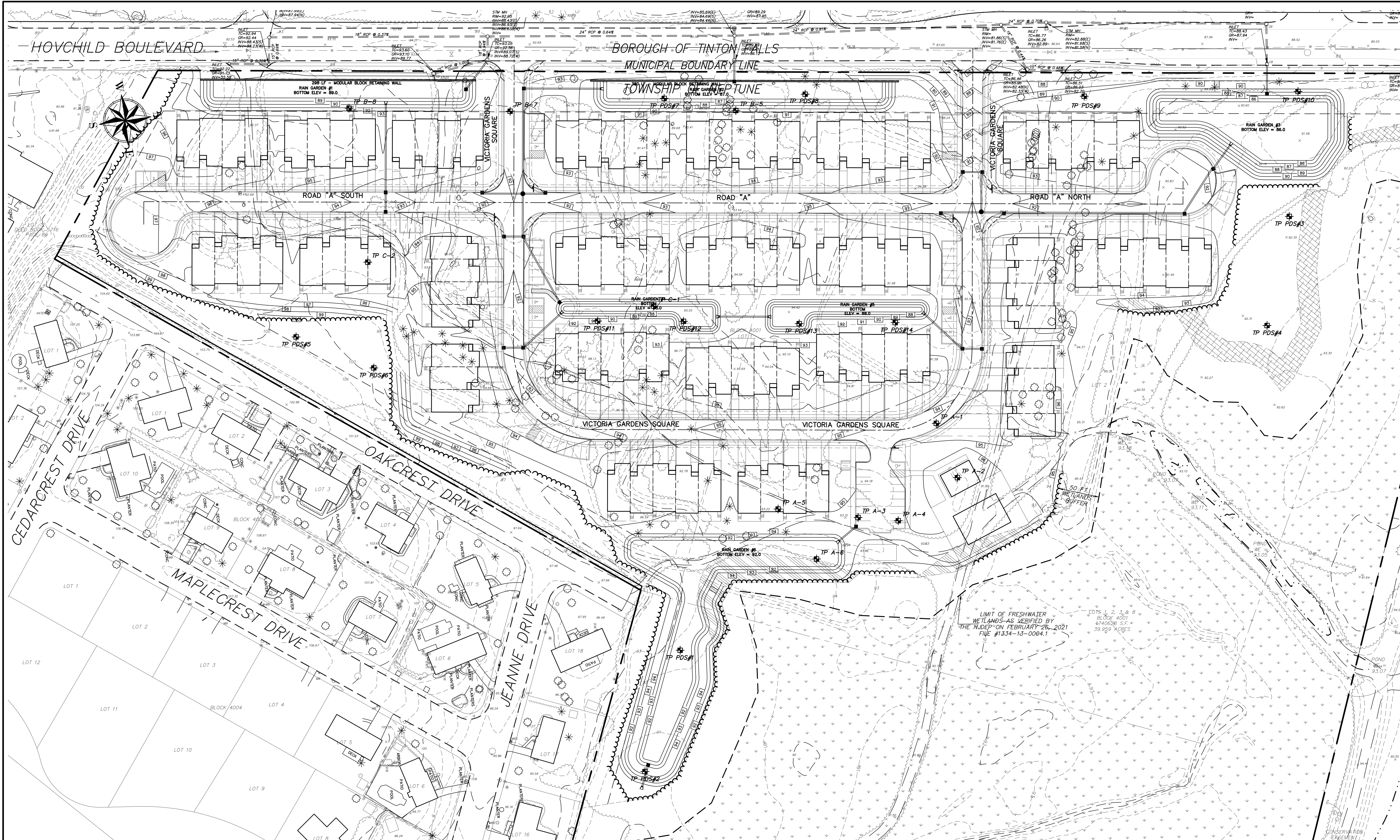


TYPICAL UNIT LAYOUT
 1" = 30'

PDS
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 ENVIRONMENTAL SCIENTISTS, CONSTRUCTION SERVICES
 1245 AIRPORT ROAD, SUITE 1, LAKEWOOD, NEW JERSEY 08701
 PHONE 732-363-0000 FAX 732-363-0073
 ENGINEERING@PDS-NJ.COM WWW.PDS-NJ.COM
 NEW JERSEY STATE BOARD OF P.E. & L.S.
 CERTIFICATE OF AUTHORIZATION NO. 24G28125400
WILLIAM A. STEVENS, P.E., P.P.
 PROFESSIONAL ENGINEER, NEW JERSEY LIC. #3915
 PROFESSIONAL PLANNER, NEW JERSEY LIC. #5394

**PRELIMINARY & FINAL MAJOR SUBDIVISION
 OVERALL DEVELOPMENT PLAN
 VICTORIA GARDENS**
 BLOCK 4001 - LOTS 1, 2 & 3
 TOWNSHIP OF NEPTUNE
 MONMOUTH COUNTY NEW JERSEY

| | | | |
|-----------------|--------------------|--------------------|---------|
| SCALE: 1" = 60' | DATE: MAY 25, 2021 | JOB NUMBER: 321644 | SHEET 2 |
| DRAWN BY: SDC | DESIGNED BY: IMB | CHECKED BY: WAS | 34 |



LEGEND

- EXISTING EDGE OF PAVEMENT
- EXISTING CURB
- EXISTING DEPRESSED CURB
- PROPOSED CURB
- PROPOSED DEPRESSED CURB
- EXISTING WOODLINE
- PROPOSED WOODLINE
- EXISTING SPOT ELEVATION
- PROPOSED SPOT ELEVATION
- EXISTING CONTOUR
- PROPOSED CONTOUR
- EXISTING INLET
- PROPOSED INLET
- EXISTING MANHOLE
- PROPOSED MANHOLE
- PROPOSED GATE VALVE

TEST PIT LOGS (BY OTHERS)

TEST PIT PDS#14 - ELEV = 91.5

- 0 - 14" 10 YR 5/3 LOAMY SAND
- 14 - 39" 10 YR 7/4 LOAMY SAND
- 39 - 63" 10 YR 8/1 LOAMY SAND
- 63 - 71" 10 YR 8/8 SAND
- 71 - 80" 10 YR 8/8 SAND W/ 10 YR 6/8 MOTILES
- 80 - 120" 10 YR 8/4 LOAMY SAND W/ 10 YR 8/8 MOTILES
- ESTIMATED SHWT @ 39" - ELEV = 85.5
- GROUNDWATER ENCOUNTERED @ 80"

TEST PIT PDS#13 - ELEV = 94.5

- 0 - 3" ORGANIC LAYER
- 3 - 24" 10 YR 7/6 LOAMY SAND
- 24 - 60" VARIES - POSSIBLE FILL AREA
- 60 - 93" 10 YR 8/1 6/2 8/8 LOAMY SAND
- 93 - 97" 10 YR 7/8 SANDY LOAM W/ 10 YR 5/8 MOTILES
- 97 - 120" 10 YR 7/1 SAND W/ 10 YR 5/8 MOTILES
- ESTIMATED SHWT @ 93" - ELEV = 86.8
- GROUNDWATER ENCOUNTERED @ 100"

TEST PIT PDS#12 - ELEV = 95.5

- 0 - 3" 10 YR 5/3 LOAMY SAND
- 3 - 13" 10 YR 8/8 LOAMY SAND
- 13 - 39" 10 YR 3/2 SANDY LOAM
- 39 - 76" 10 YR 8/3 6/8 6/2 LOAMY SAND
- 76 - 120" 10 YR 8/1 6/8 6/2 LOAMY SAND
- ESTIMATED SHWT @ GREATER THAN 120" - ELEV = < 85.5
- NO GROUNDWATER ENCOUNTERED

TEST PIT PDS 96.5#11 - ELEV =

- 0 - 3" 10 YR 5/3 LOAMY SAND
- 3 - 9" 10 YR 8/8 LOAMY SAND
- 9 - 32" 10 YR 3/2 SANDY LOAM
- 32 - 69" 10 YR 8/3 6/8 6/2 LOAMY SAND
- 69 - 120" 10 YR 8/1 6/8 6/2 LOAMY SAND
- 120 - 4" 10 YR 8/1 6/8 6/2 LOAMY SAND
- ESTIMATED SHWT @ GREATER THAN 120" - ELEV < 86.5
- NO GROUNDWATER ENCOUNTERED

TEST PIT PDS 1 THROUGH PDS 14 WERE WITNESSED BY PROFESSIONAL DESIGN SERVICES ON APRIL 23, 2021.

TEST PIT LOGS (BY OTHERS)

TEST PIT #A-1 - ELEV = 92.7

- 0 - 3" 10 YR TOPSOIL
- 3 - 45" 10 YR 5/6 YELLOWISH BROWN SAND
- 45 - 72" 10 YR 7/6 YELLOW SAND
- 72 - 76" 10 YR 6/1 GRAY SAND
- 76 - 85" 10 YR 8/1 WHITE SAND, SATURATED @ 76"
- ESTIMATED SHWT @ 45" - ELEV = 89.0
- GROUNDWATER ENCOUNTERED @ 76"

TEST PIT #A-3 - ELEV = 93.2

- 0 - 3" 10 YR TOPSOIL
- 3 - 40" 10 YR 2/2 VERY DARK BROWN SAND
- 40 - 52" 10 YR 7/6 YELLOW SAND
- 52 - 91" 10 YR 6/2 LIGHT BROWNISH GRAY SAND, SATURATED @ 81"
- 91 - 98" 10 YR 7/8 YELLOW SAND WITH 15% GRAVEL
- ESTIMATED SHWT @ 48" - ELEV = 89.2
- GROUNDWATER ENCOUNTERED @ 81"

TEST PIT #A-4 - ELEV = 93.0

- 0 - 3" 10 YR TOPSOIL
- 3 - 43" 10 YR 4/4 DARK YELLOWISH BROWN SAND
- 43 - 73" 10 YR 7/8 YELLOW SAND
- 73 - 82" 10 YR VERY PALE BROWN SAND, SATURATED @ 73"
- ESTIMATED SHWT @ 43" - ELEV = 89.5
- GROUNDWATER ENCOUNTERED @ 73"

TEST PIT LOGS (BY PDS)

TEST PIT #A-5 - ELEV = 93.2

- 0 - 3" 10 YR TOPSOIL
- 3 - 25" 10 YR 7/6 YELLOW SAND
- 25 - 47" 10 YR 8/3 VERY PALE BROWN SAND
- 47 - 84" 10 YR 7/8 YELLOW SAND, SATURATED @ 79"
- 84 - 89" 2.5 YR 8/1 LOAMY SAND
- 89 - 109" 2.5 YR 7/6 LOAMY SAND
- 109 - 120" 10 YR 6/3 SAND
- ESTIMATED SHWT @ 47" - ELEV = 89.0
- GROUNDWATER ENCOUNTERED @ 79"

TEST PIT #A-6 - ELEV = 93.5

- 0 - 3" 10 YR TOPSOIL
- 3 - 40" 10 YR 6/6 BROWNISH YELLOW LOAMY SAND
- 40 - 48" 10 YR 4/4 DARK YELLOWISH BROWN SAND
- 48 - 85" 10 YR 5/4 YELLOWISH BROWN SAND, SATURATED @ 79"
- 85 - 96" 10 YR 8/8 YELLOW SAND WITH 15% GRAVEL, SATURATED
- ESTIMATED SHWT @ 48" - ELEV = 89.5
- GROUNDWATER ENCOUNTERED @ 79"

TEST PIT #C-1 - ELEV = 94.9

- 0 - 4" 10 YR TOPSOIL
- 4 - 64" 10 YR 6/6 BROWNISH YELLOW LOAMY SAND
- 64 - 108" 10 YR 7/6 YELLOW SAND
- 108 - 134" 10 YR 7/2 LIGHT GRAY SAND
- 134 - 157" 10 YR 7/6 YELLOW SAND
- ESTIMATED SHWT @ > 157" - < 81.9
- NO GROUNDWATER ENCOUNTERED

TEST PIT LOGS (BY PDS)

TEST PIT PDS#1 - ELEV = 92.7

- 0 - 2" ORGANIC LAYER
- 2 - 11" 10 YR 5/3 LOAMY SAND
- 11 - 36" 2 SY 8/6 LOAMY SAND
- 36 - 58" 2.5 YR 8/1 LOAMY SAND
- 58 - 89" 2.5 YR 7/6 LOAMY SAND
- 89 - 109" 2.5 YR 8/4 LOAMY SAND
- 109 - 120" 10 YR 6/3 SAND
- ESTIMATED SHWT @ 36" - ELEV = 89.7
- GROUNDWATER ENCOUNTERED @ 66"

TEST PIT PDS#2 - ELEV = 90.6

- 0 - 2" ORGANIC LAYER
- 2 - 14" 10 YR 5/3 LOAMY SAND
- 14 - 20" 10 YR 7/6 LOAMY SAND
- 20 - 26" 10 YR 6/8 SANDY LOAM
- 26 - 48" 10 YR 7/4 LOAMY SAND
- 48 - 120" GLEY1 8/N
- ESTIMATED SHWT @ 26" - ELEV = 88.5
- GROUNDWATER ENCOUNTERED @ 64"

TEST PIT PDS#3 - ELEV = 91.5

- 0 - 4" 10 YR 5/3 LOAMY SAND
- 4 - 14" 10 YR 7/4 LOAMY SAND
- 14 - 32" 10 YR 8/1 LOAMY SAND
- 32 - 48" 2.5 YR 7/3 LOAMY SAND
- 48 - 92" 10 YR 6/8 SAND
- 92 - 112" 2.5 YR 8/1 LOAMY SAND W/ 10YR 8/8 MOTILES
- 112 - 120" GLEY1 8/N W/ 10YR 5/8 MOTILES
- ESTIMATED SHWT @ 14" - ELEV = 83.8
- GROUNDWATER ENCOUNTERED @ 34"

TEST PIT PDS#4 - ELEV = 92.8

- 0 - 6" 10 YR 5/3 LOAMY SAND
- 6 - 16" 10 YR 7/4 LOAMY SAND
- 16 - 37" 10 YR 7/4 LOAMY SAND
- 37 - 46" 2.5 YR 7/3 LOAMY SAND
- 46 - 65" 10 YR 6/8 SAND
- 65 - 120" GLEY1 8/N
- ESTIMATED SHWT @ 46" - ELEV = 88.8
- GROUNDWATER ENCOUNTERED @ 52"

TEST PIT PDS#5 - ELEV = 99.8

- 0 - 2" ORGANIC LAYER
- 2 - 10" 10 YR 5/3 LOAMY SAND
- 10 - 36" 10 YR 7/6 LOAMY SAND
- 36 - 48" 10 YR 7/4 8/8 6/8 LOAMY SAND
- 48 - 94" GLEY1 8/N
- 94 - 108" 10 YR 6/8 8/8 7/1 SAND
- 108 - 117" 10 YR 8/8 SANDY LOAM
- 117 - 120" 10 YR 8/8 LOAMY SAND
- ESTIMATED SHWT @ 108" - ELEV = 90.8
- NO GROUNDWATER ENCOUNTERED

TEST PIT LOGS (BY PDS)

TEST PIT PDS#6 - ELEV = 100.5

- 0 - 7" 10 YR 5/3 LOAMY SAND
- 7 - 26" 10 YR 7/6 LOAMY SAND
- 26 - 39" 10 YR 8/8 LOAMY SAND
- 39 - 47" 10 YR 8/6 8/8 6/8 LOAMY SAND
- 47 - 72" 10 YR 6/8 SAND
- 72 - 94" 10 YR 6/8 5/8 7/1 LOAMY SAND
- 94 - 112" 10 YR 7/6 8/8 6/8 SANDY LOAM
- 112 - 120" 10 YR 7/6 8/8 6/8 LOAMY SAND
- ESTIMATED SHWT @ 14" - ELEV = 83.8
- NO GROUNDWATER ENCOUNTERED

TEST PIT PDS#7 - ELEV = 92.5

- 0 - 5" 10 YR 5/3 LOAMY SAND
- 5 - 20" 10 YR 7/4 LOAMY SAND
- 20 - 48" 10 YR 8/1 LOAMY SAND
- 48 - 96" 10 YR 8/1 8/8 6/2 LOAMY SAND
- 96 - 110" 10 YR 7/4 8/8 6/2 SAND
- 110 - 120" GLEY1 8/N SAND
- ESTIMATED SHWT @ 110" - ELEV = 83.4
- NO GROUNDWATER ENCOUNTERED

TEST PIT PDS#8 - ELEV = 91.5

- 0 - 6" 10 YR 5/3 LOAMY SAND
- 6 - 23" 10 YR 7/4 LOAMY SAND
- 23 - 50" 10 YR 8/1 LOAMY SAND
- 48 - 96" 10 YR 8/1 8/8 6/2 LOAMY SAND
- 99 - 104" 10 YR 7/4 8/8 6/2 SAND
- 104 - 120" GLEY1 8/N
- ESTIMATED SHWT @ 104" - ELEV = 82.9
- GROUNDWATER ENCOUNTERED (SEEPAGE @ 60")

TEST PIT PDS#9 - ELEV = 87.8

- 0 - 8" 10 YR 5/3 LOAMY SAND
- 8 - 26" 10 YR 7/4 LOAMY SAND
- 26 - 45" 10 YR 8/8 SAND
- 45 - 77" 10 YR 8/1 LOAMY SAND
- 77 - 112" 10 YR 8/1 LOAMY SAND
- 112 - 120" 10 YR 8/4 LOAMY SAND W/ 10 YR 6/8 MOTILES
- ESTIMATED SHWT @ 45" - ELEV = 83.8
- GROUNDWATER ENCOUNTERED (SEEPAGE @ 45")

TEST PIT PDS#10 - ELEV =

- 0 - 6" 10 YR 5/3 LOAMY SAND
- 6 - 30" 10 YR 7/4 LOAMY SAND
- 30 - 39" 10 YR 8/1 8/8 5/8 LOAMY SAND
- 39 - 47" 10 YR 6/8 SAND
- 47 - 82" 10 YR 8/4 LOAMY SAND
- 82 - 120" 10 YR 8/4 LOAMY SAND W/ 10 YR 6/8 MOTILES
- ESTIMATED SHWT @ 82" - ELEV = 83.7
- GROUNDWATER ENCOUNTERED (SEEPAGE @ 100")

TEST PIT LOGS (BY PDS)

TEST PIT PDS#11 - ELEV = 92.7

- 0 - 2" ORGANIC LAYER
- 2 - 14" 10 YR 5/3 LOAMY SAND
- 14 - 20" 10 YR 7/6 LOAMY SAND
- 20 - 26" 10 YR 6/8 SANDY LOAM
- 26 - 48" 10 YR 7/4 LOAMY SAND
- 48 - 120" GLEY1 8/N
- ESTIMATED SHWT @ 26" - ELEV = 88.5
- GROUNDWATER ENCOUNTERED @ 64"

TEST PIT PDS#12 - ELEV = 95.5

- 0 - 3" 10 YR 5/3 LOAMY SAND
- 3 - 13" 10 YR 8/8 LOAMY SAND
- 13 - 39" 10 YR 3/2 SANDY LOAM
- 39 - 76" 10 YR 8/3 6/8 6/2 LOAMY SAND
- 76 - 120" 10 YR 8/1 6/8 6/2 LOAMY SAND
- ESTIMATED SHWT @ GREATER THAN 120" - ELEV < 85.5
- NO GROUNDWATER ENCOUNTERED

TEST PIT PDS#13 - ELEV = 94.5

- 0 - 3" ORGANIC LAYER
- 3 - 24" 10 YR 7/6 LOAMY SAND
- 24 - 60" VARIES - POSSIBLE FILL AREA
- 60 - 93" 10 YR 8/1 6/2 8/8 LOAMY SAND
- 93 - 97" 10 YR 7/8 SANDY LOAM W/ 10 YR 5/8 MOTILES
- 97 - 120" 10 YR 7/1 SAND W/ 10 YR 5/8 MOTILES
- ESTIMATED SHWT @ 93" - ELEV = 86.8
- GROUNDWATER ENCOUNTERED @ 100"

TEST PIT PDS#14 - ELEV = 91.5

- 0 - 14" 10 YR 5/3 LOAMY SAND
- 14 - 39" 10 YR 7/4 LOAMY SAND
- 39 - 63" 10 YR 8/1 LOAMY SAND
- 63 - 71" 10 YR 8/8 SAND
- 71 - 80" 10 YR 8/8 SAND W/ 10 YR 6/8 MOTILES
- 80 - 120" 10 YR 8/4 LOAMY SAND W/ 10 YR 8/8 MOTILES
- ESTIMATED SHWT @ 39" - ELEV = 85.5
- GROUNDWATER ENCOUNTERED @ 80"

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| NO. | DATE | REVISION | DESCRIPTION | BY |
|-----|---------|---|-------------|----|
| 3 | 11/8/21 | REVISED PER NEPTUNE ZONING BOARD OF ADJUSTMENT ENGINEER | SDC | |
| 2 | 8/23/21 | ADDED LOT & BLOCK NUMBERS | SDC | |
| 1 | 8/3/21 | REVISED PER N.J.A.C. | SDC | |

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 NEW JERSEY STATE BOARD OF P.E. & L.S.
 CERTIFICATE OF AUTHORIZATION NO. 24G28125400

WILLIAM A. STEVENS, P.E., P.P.
 PROFESSIONAL ENGINEER, NEW JERSEY LIC. #39115
 PROFESSIONAL PLANNER, NEW JERSEY LIC. #5394

PRELIMINARY & FINAL MAJOR SUBDIVISION

TEST PIT PLAN

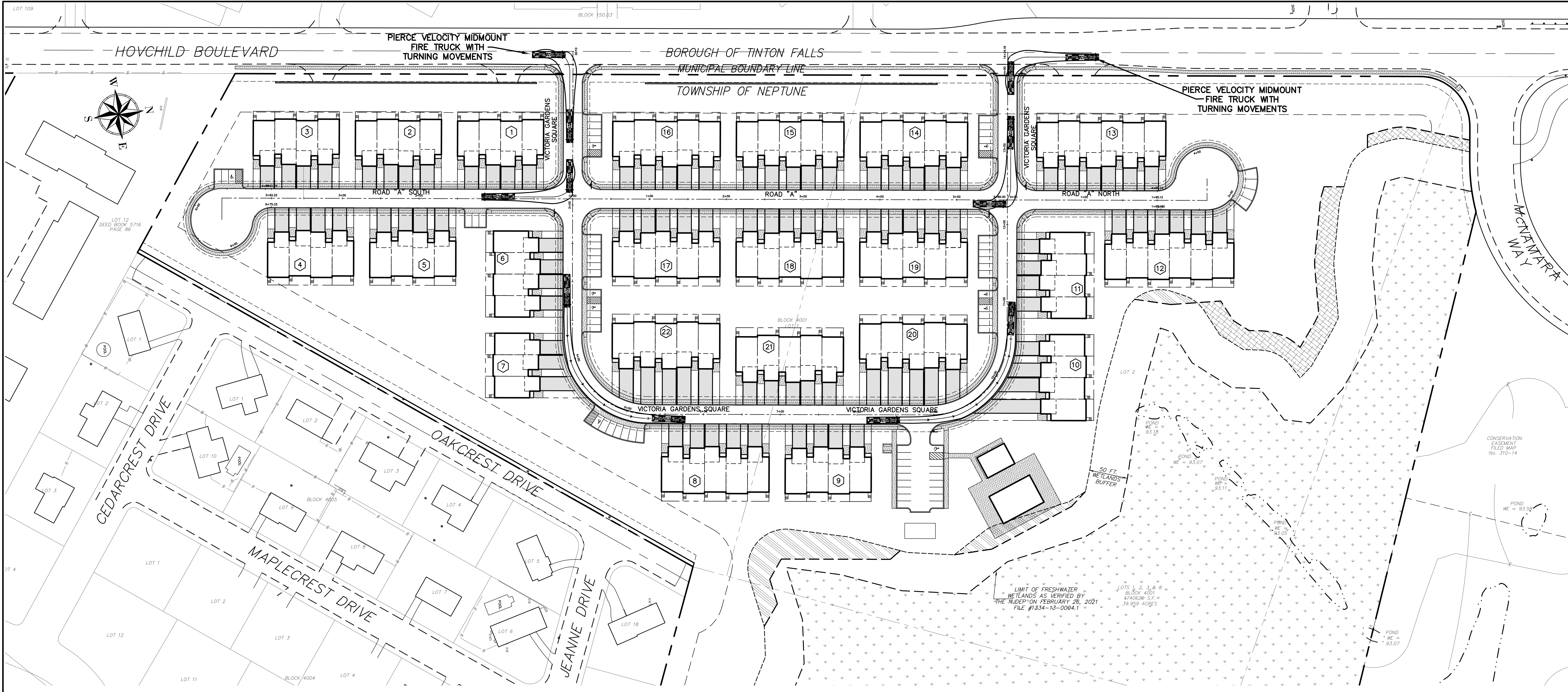
VICTORIA GARDENS

BLOCK 4001 - LOTS 1, 2 & 3

TOWNSHIP OF NEPTUNE

MONMOUTH COUNTY NEW JERSEY

| | | | |
|-----------------|--------------------|--------------------|---------|
| SCALE: 1" = 60' | DATE: MAY 25, 2021 | JOB NUMBER: 321644 | SHEET 3 |
| DRAWN BY: SDC | DESIGNED BY: IMB | CHECKED BY: WAS | 34 |



Turning Performance Analysis

02/25/2014

Bid Number: 300 **Chassis:** Velocity Chassis, PAP/Midmount (Big Block), 2010
Department: Neptune Township Fire District #1 **Body:** Aerial, Platform 100', Alum Body

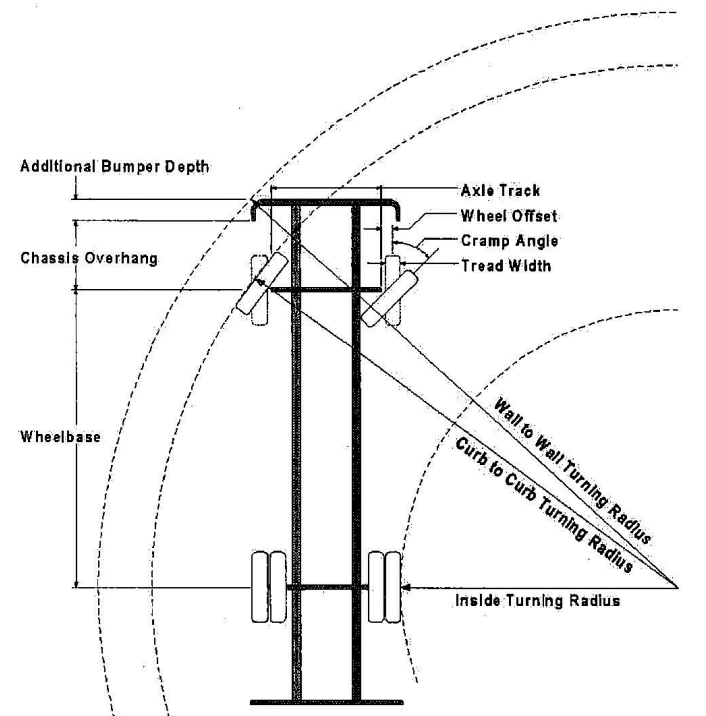
Parameters:

| | |
|--------------------------|-----------|
| Inside Cramp Angle: | 40° |
| Axle Track: | 82.92 in. |
| Wheel Offset: | 5.3 in. |
| Tread Width: | 13.5 in. |
| Chassis Overhang: | 78 in. |
| Additional Bumper Depth: | 19 in. |
| Front Overhang: | 146.6 in. |
| Wheelbase: | 257 in. |

Calculated Turning Radii:

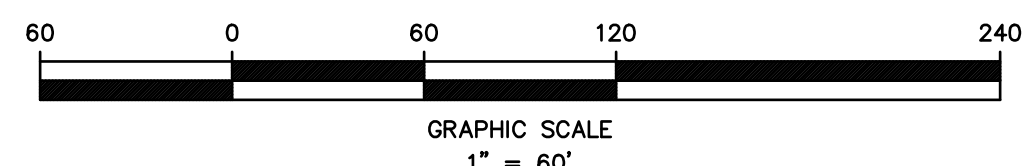
| | |
|---------------|---------------|
| Inside Turn: | 24 ft. 6 in. |
| Curb to curb: | 39 ft. 10 in. |
| Wall to wall: | 47 ft. 5 in. |

Comments:



| Category | Option | Description |
|---------------------|---------|--|
| Axle, Front, Custom | 0508846 | Axle, Front, Oshkosh TAK-4, Non Drive, 24,000 lb, Velocity |
| Wheels, Front | 0019618 | Wheels, Front, Alcoa, 22.50" x 13.00", Aluminum, Hub Pilot |
| Tires, Front | 0582746 | Tires, Front, Goodyear, G296 MSA, 44S/65R22.50, 20 ply |
| Bumpers | 0123625 | Bumper, 19" Extended, Imp/Vel |
| Aerial Devices | 0657391 | Aerial, 100' Pierce Platform, 35 MPH Wind Rating, 400lb Tip Load Allowance |

Notes:
 Actual inside cramp angle may be less due to highly specialized options.
 Curb to Curb turning radius calculated for 9.00 inch curb.



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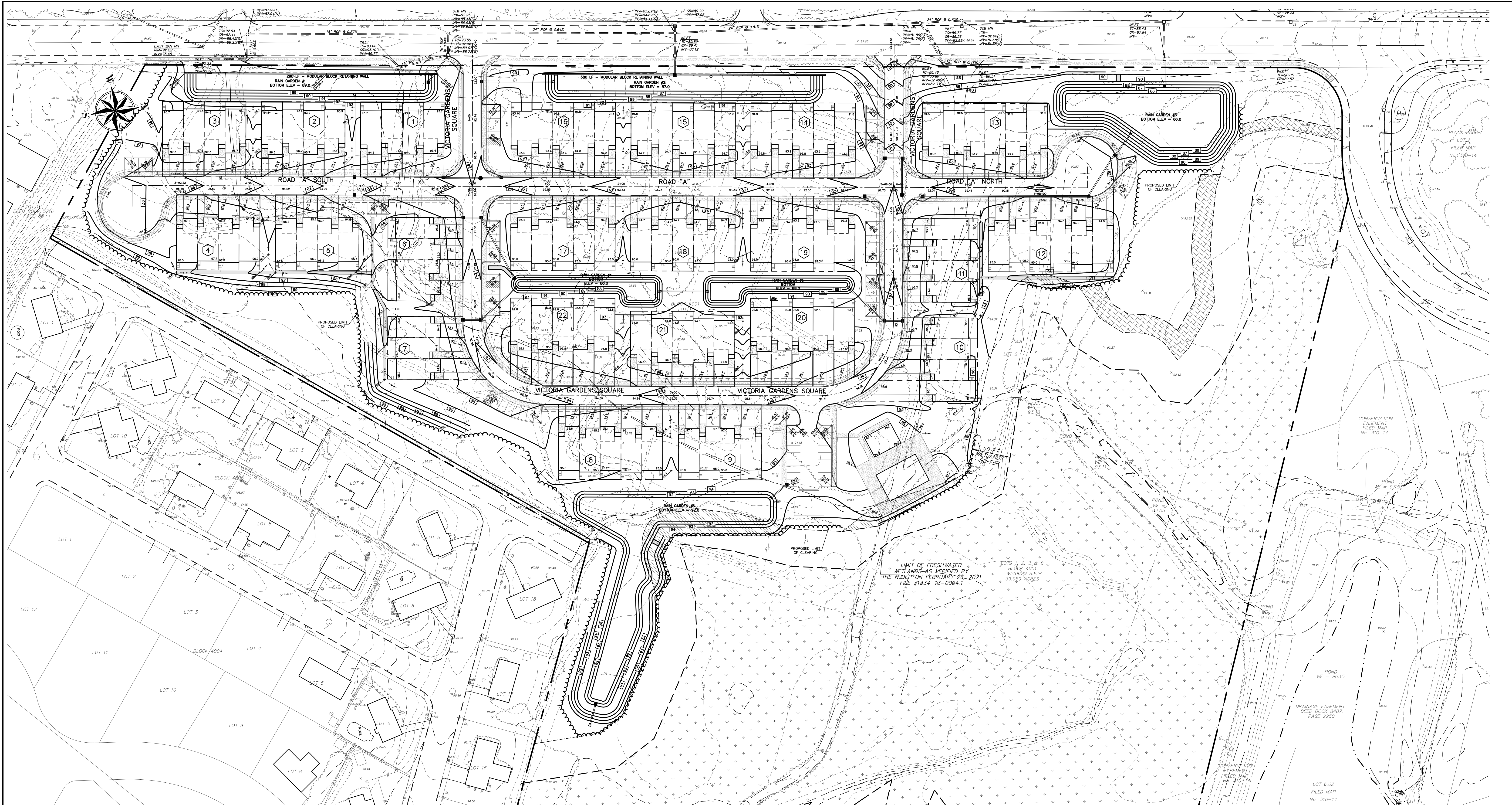
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| 2 | 8/23/21 | ADDED LOT & BLOCK NUMBERS | SDC |
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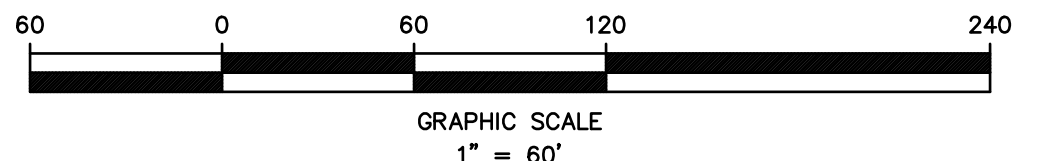
PRELIMINARY & FINAL MAJOR SUBDIVISION
VEHICLE CIRCULATION PLAN
VICTORIA GARDENS
 BLOCK 4001 - LOTS 1, 2 & 3
 TOWNSHIP OF NEPTUNE
 MONMOUTH COUNTY NEW JERSEY

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|-----------|----------|--------------|--------------|-------------|--------|-------|---|
| SCALE: | 1" = 60' | DATE: | MAY 25, 2021 | JOB NUMBER: | 321644 | SHEET | 4 |
| DRAWN BY: | SDC | DESIGNED BY: | IMB | CHECKED BY: | WAS | 34 | |



LEGEND

| | |
|---------------------------|--|
| EXISTING EDGE OF PAVEMENT | |
| EXISTING CURB | |
| EXISTING DEPRESSED CURB | |
| PROPOSED CURB | |
| PROPOSED DEPRESSED CURB | |
| EXISTING WOODLINE | |
| PROPOSED WOODLINE | |
| EXISTING SPOT ELEVATION | |
| PROPOSED SPOT ELEVATION | |
| EXISTING CONTOUR | |
| PROPOSED CONTOUR | |
| EXISTING INLET | |
| PROPOSED INLET | |
| EXISTING MANHOLE | |
| PROPOSED MANHOLE | |
| PROPOSED GATE VALVE | |



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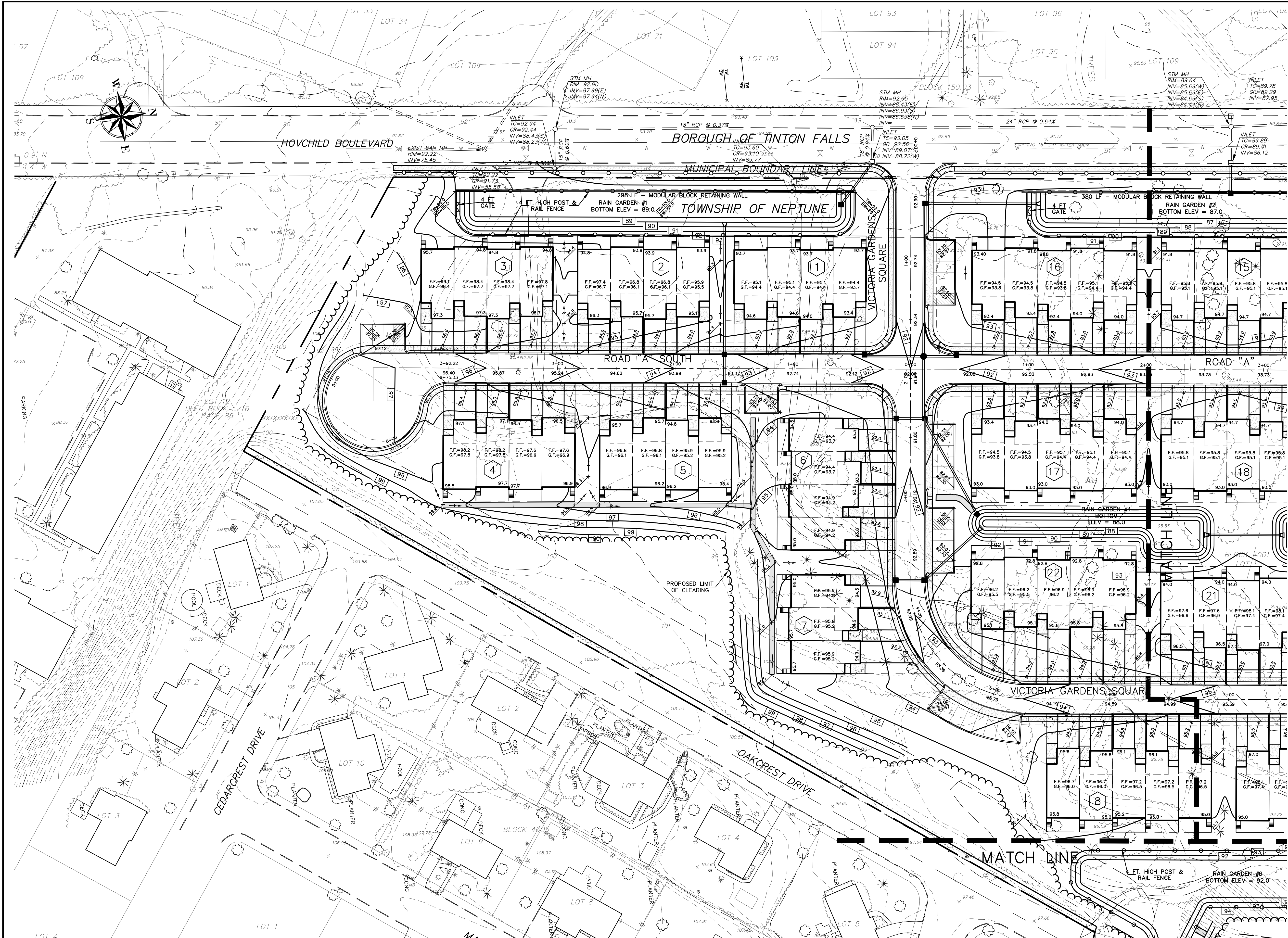
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OVERALL GRADING PLAN
VICTORIA GARDENS
 BLOCK 4001 - LOTS 1, 2 & 3
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LEGEND

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|---------------------------|---|
| EXISTING EDGE OF PAVEMENT | — |
| EXISTING CURB | — |
| EXISTING DEPRESSED CURB | — |
| PROPOSED CURB | — |
| PROPOSED DEPRESSED CURB | — |
| EXISTING WOODLINE | — |
| PROPOSED WOODLINE | — |
| EXISTING SPOT ELEVATION | — |
| PROPOSED SPOT ELEVATION | — |
| EXISTING CONTOUR | — |
| PROPOSED CONTOUR | — |
| EXISTING INLET | □ |
| PROPOSED INLET | ■ |
| EXISTING MANHOLE | ○ |
| PROPOSED MANHOLE | ● |
| PROPOSED GATE VALVE | ⊗ |

General Notes:

Stormwater management facilities shall be regularly maintained to ensure they function at design capacity and to prevent health hazards associated with debris buildup and stagnant water.

Responsibility for operation and maintenance of the stormwater facilities, including periodic removal and disposal of accumulated particulate material and debris, shall remain with the owners or owners of the property. Maintenance shall follow the operations maintenance manual approved by the Board.

In the event that the facility becomes a danger to public safety or public health, or if it is need of maintenance. The owner shall affect such maintenance and repair of the facility in a manner that is approved by the Township Engineer.

Sand Filter Notes:

All roof gutters must have leaf screens. Excavation and sand placement should be performed with equipment placed outside of the filter bottom. The excavation for the sand filter bottom should only occur after all construction within its drainage area is completed and the drainage area is stabilized. Once the excavation is completed, the floor of the sand filter designed to infiltrate must be deeply tilled with a rotary tiller or disc harrow and smoothed over with a leveling drag, or equivalent grading equipment.

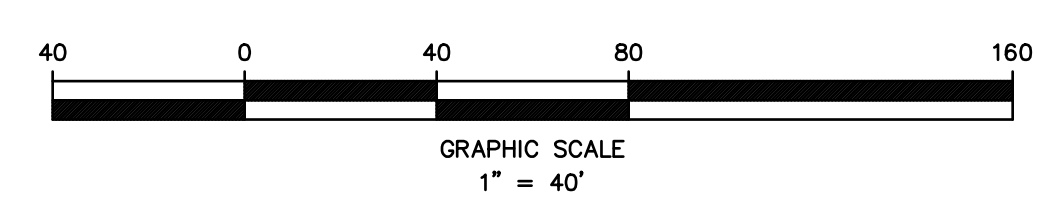
Rain Garden Notes:

During clearing and grading of the site, measures must be taken to eliminate soil compaction at the location of a proposed small-scale infiltration basin (Rain Garden). The location of the proposed small-scale infiltration basin must be cordoned off during construction to prevent compaction of the subsoil by construction equipment or stockpiles. The use of the location proposed for a small-scale infiltration basin to provide sediment control during construction is discouraged; however, when unavoidable, excavation for the sediment control basin must be at least 2 feet above the final design elevation of the basin bottom. Excavation and construction of a small-scale infiltration basin must be performed using equipment placed outside the limits of the basin. The excavation to the final design elevation of the small-scale infiltration basin bottom may only occur after all construction within its contributory drainage area is completed and the contributory drainage area is stabilized. The contributing drainage area must be completely stabilized prior to small-scale infiltration basin use.

RETAINING WALL NOTES

PROJECT ENGINEER SHALL CERTIFY THAT A FAILURE OF THE STRUCTURAL RETAINING WALLS WILL HAVE NO ADVERSE IMPACT ON ANY ADJOINING PROPERTY OR PUBLIC RIGHT OF WAY. RETAINING WALLS ARE TO BE MAINTAINED BY THE OWNER OF THE PROPERTY.

A LICENSED STRUCTURAL OR CIVIL ENGINEER, AT THE COST OF THE APPLICANT, SHALL INSPECT THE CONSTRUCTION OF ALL STRUCTURAL RETAINING WALLS, AND A SIGNED AND SEALED CERTIFICATION THAT THE WALL HAS BEEN PROPERLY CONSTRUCTED SHALL BE SUBMITTED TO THE CONSTRUCTION OFFICIAL UPON COMPLETION OF THE WALL.



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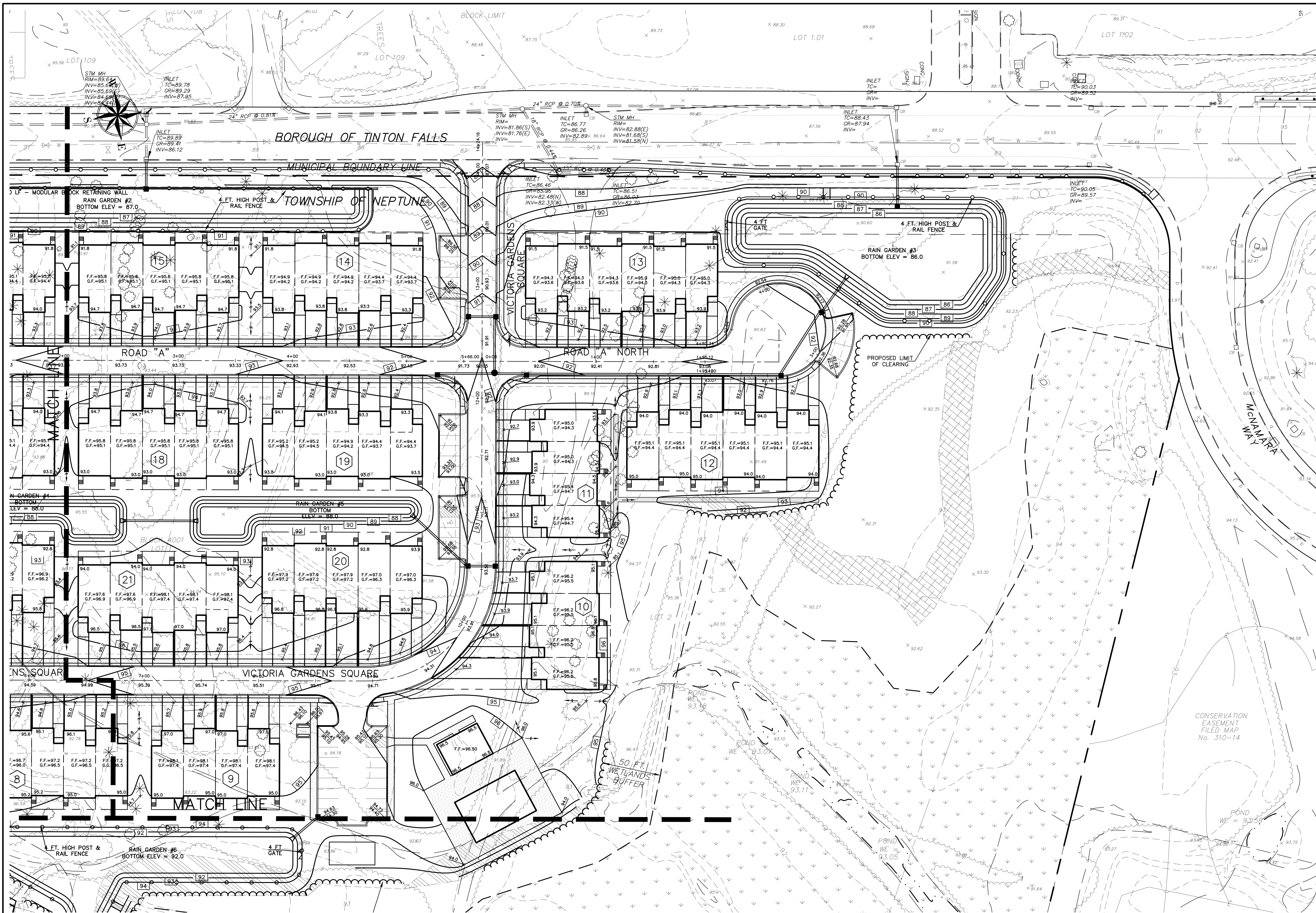
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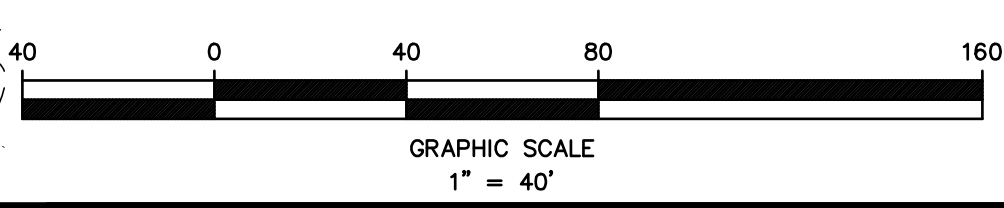
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 MONMOUTH COUNTY NEW JERSEY

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| 1" = 40' | MAY 25, 2021 | 321644 | 6 |
| DRAWN BY: | DESIGNED BY: | CHECKED BY: | |
| SDC | IMB | WAS | 34 |



LEGEND

| | |
|---------------------------|-------|
| EXISTING EDGE OF PAVEMENT | — |
| EXISTING CURB | — |
| EXISTING DEPRESSED CURB | — |
| PROPOSED CURB | — |
| PROPOSED DEPRESSED CURB | — |
| EXISTING WOODLINE | ~ |
| PROPOSED WOODLINE | ~ |
| EXISTING SPOT ELEVATION | x |
| PROPOSED SPOT ELEVATION | x |
| EXISTING CONTOUR | - - - |
| PROPOSED CONTOUR | - - - |
| EXISTING INLET | □ |
| PROPOSED INLET | ■ |
| EXISTING MANHOLE | ○ |
| PROPOSED MANHOLE | ● |
| PROPOSED GATE VALVE | ⊕ |



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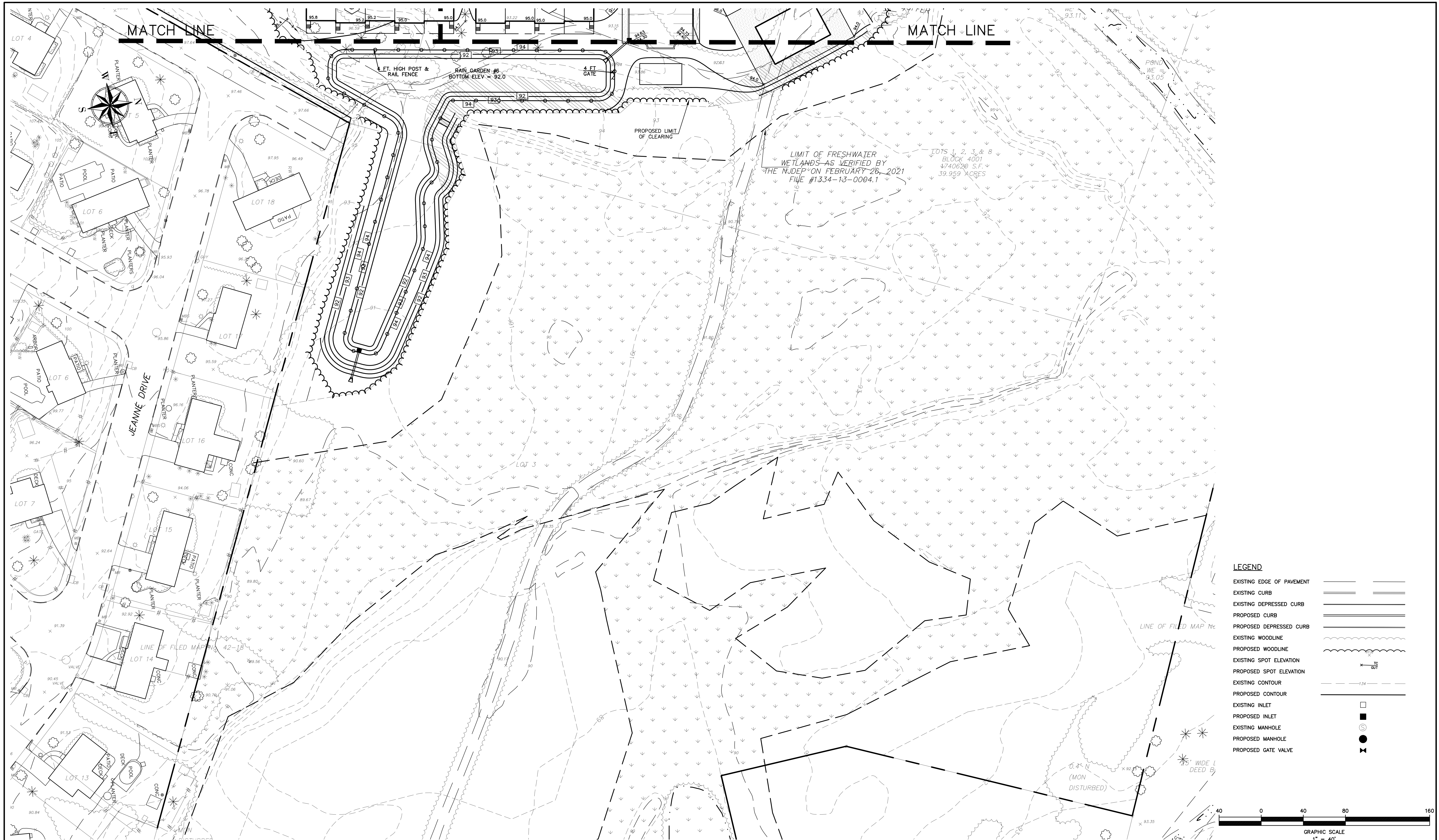
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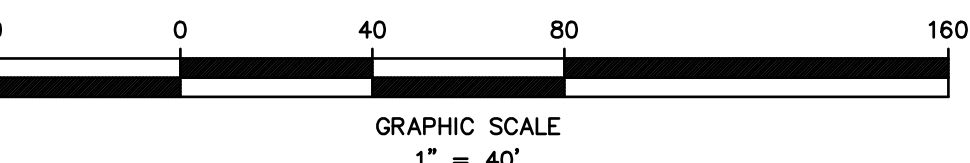
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| DRAWN BY: SDC | DESIGNED BY: IMB | CHECKED BY: WAS | 34 |



- LEGEND**
- EXISTING EDGE OF PAVEMENT
 - EXISTING CURB
 - EXISTING DEPRESSED CURB
 - PROPOSED CURB
 - PROPOSED DEPRESSED CURB
 - EXISTING WOODLINE
 - PROPOSED WOODLINE
 - EXISTING SPOT ELEVATION
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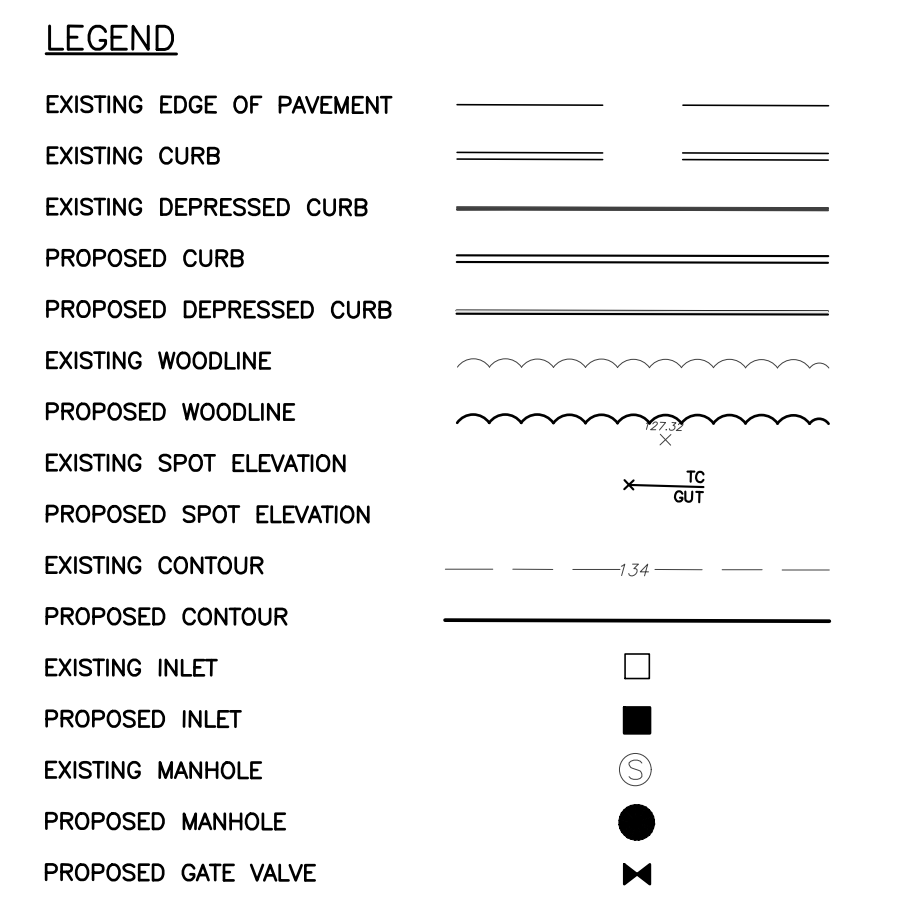
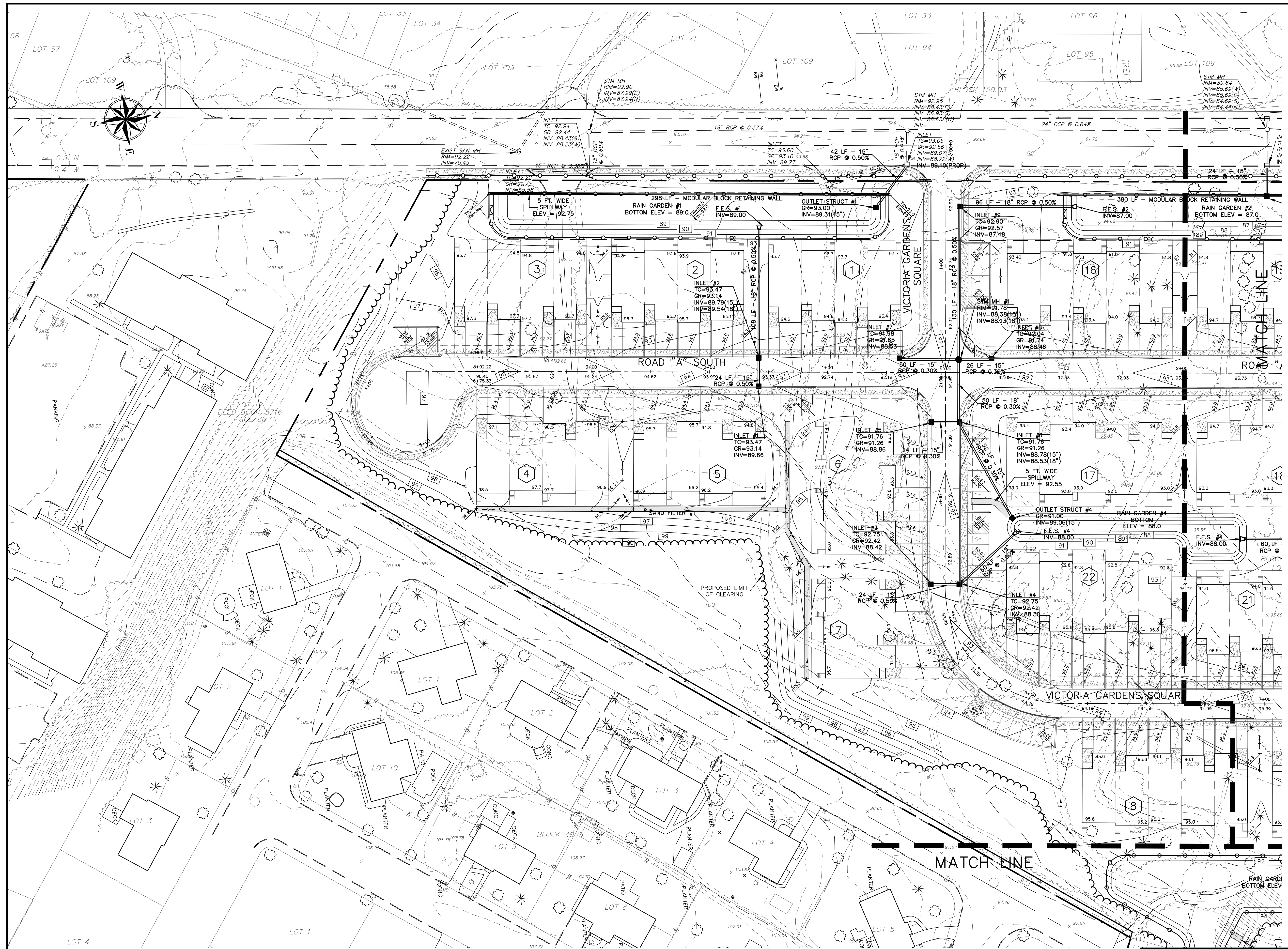
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| SDC | IMB | WAS | |



STORMWATER SYSTEM MAINTENANCE:

ALL MAINTENANCE FOR EACH STORMWATER MANAGEMENT SYSTEM WILL BE THE RESPONSIBILITY OF THE PROPERTY OWNER AFTER CONSTRUCTION IS COMPLETED.

THE FOLLOWING IS A SUMMARY OF THE REQUIRED MAINTENANCE ACTIVITIES:

| TASK | SCHEDULE |
|--|-------------|
| INFILTRATION SYSTEMS | |
| DEBRIS REMOVAL | BI-ANNUALLY |
| INSPECTION & REPAIR (AS NECESSARY) OF STRUCTURES | ANNUALLY |
| TILLING OF BASIN BOTTOM | ANNUALLY |

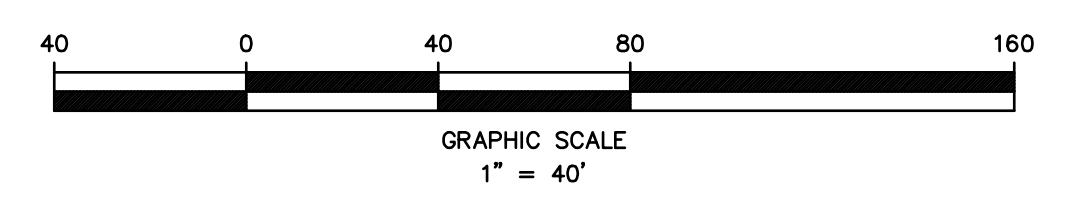
| TASK | SCHEDULE |
|--|-------------|
| COLLECTION SYSTEMS | |
| DEBRIS REMOVAL & CLEANING | BI-ANNUALLY |
| INSPECTION & REPAIR (AS NECESSARY) OF STRUCTURES | ANNUALLY |

THE DRAINAGE SYSTEM SHALL BE CLEANED BY THE APPLICANT UPON COMPLETION OF SITE IMPROVEMENTS.

TILLING AND/OR REPLACEMENT OF THE BASIN BOTTOM SHALL BE DONE WHEN THE CALCULATED PERMEABILITY RATES ARE NOT ACHIEVED.

DRAINAGE NOTES:

- ALL STORMWATER INLETS TO BE TYPE "B" UNLESS OTHERWISE NOTED.
- ALL ROOF LEADERS ARE TO BE CONNECTED TO STORM DRAINAGE SYSTEM.



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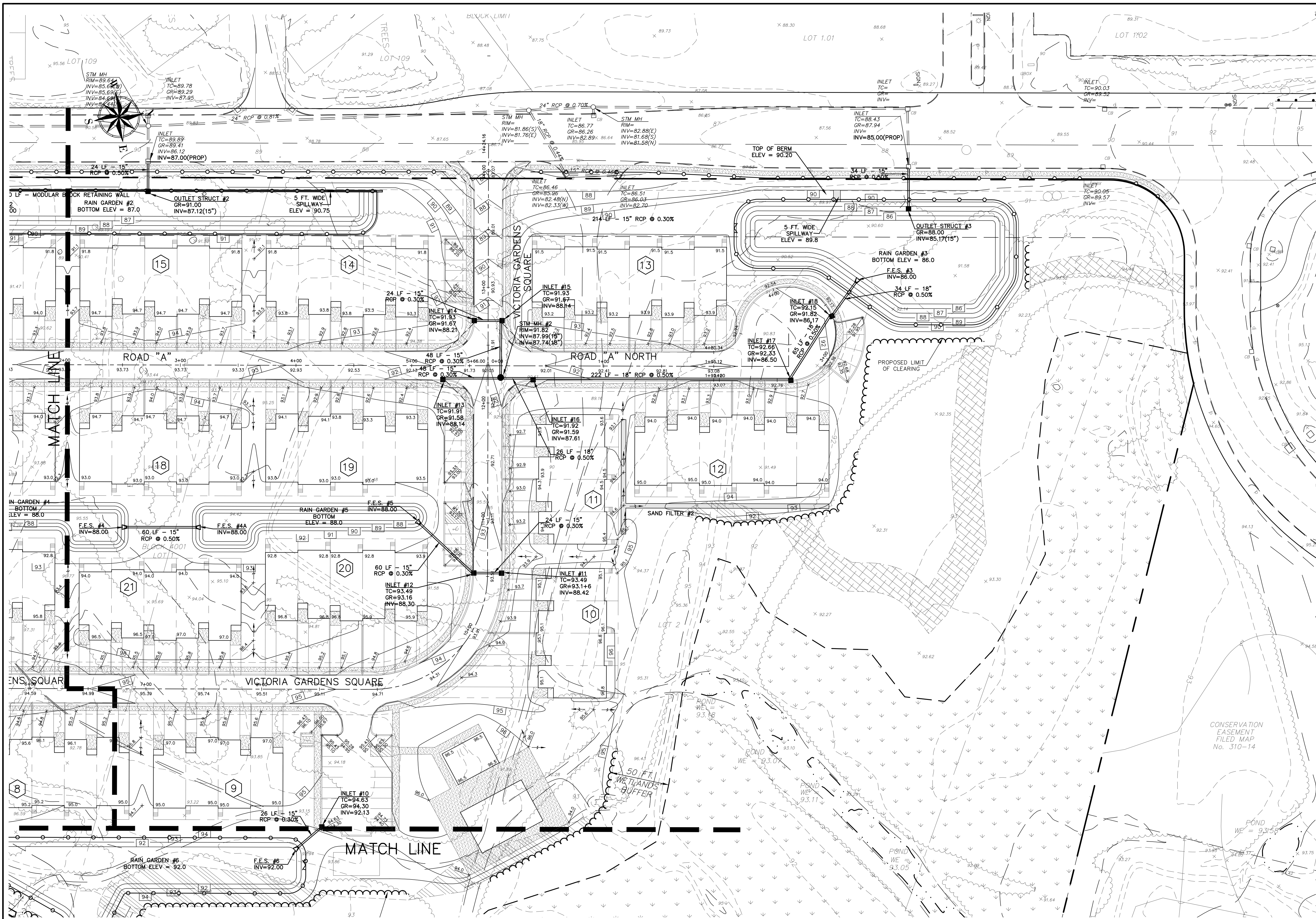
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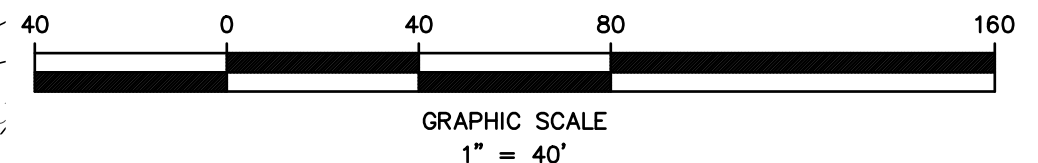
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LEGEND

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| EXISTING EDGE OF PAVEMENT | — |
| EXISTING CURB | == |
| EXISTING DEPRESSED CURB | --- |
| PROPOSED CURB | --- |
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| EXISTING MANHOLE | ○ |
| PROPOSED MANHOLE | ● |
| PROPOSED GATE VALVE | ⊗ |



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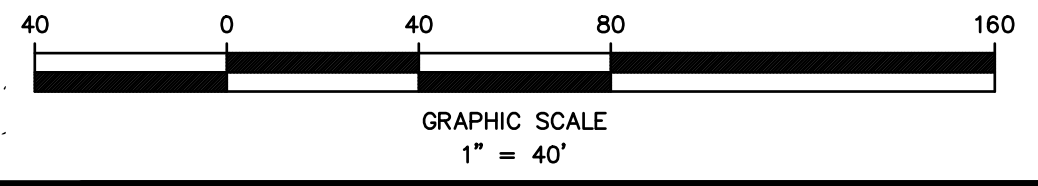
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| EXISTING CURB | ==== |
| EXISTING DEPRESSED CURB | ==== |
| PROPOSED CURB | ==== |
| PROPOSED DEPRESSED CURB | ==== |
| EXISTING WOODLINE | ~~~~~ |
| PROPOSED WOODLINE | ~~~~~ |
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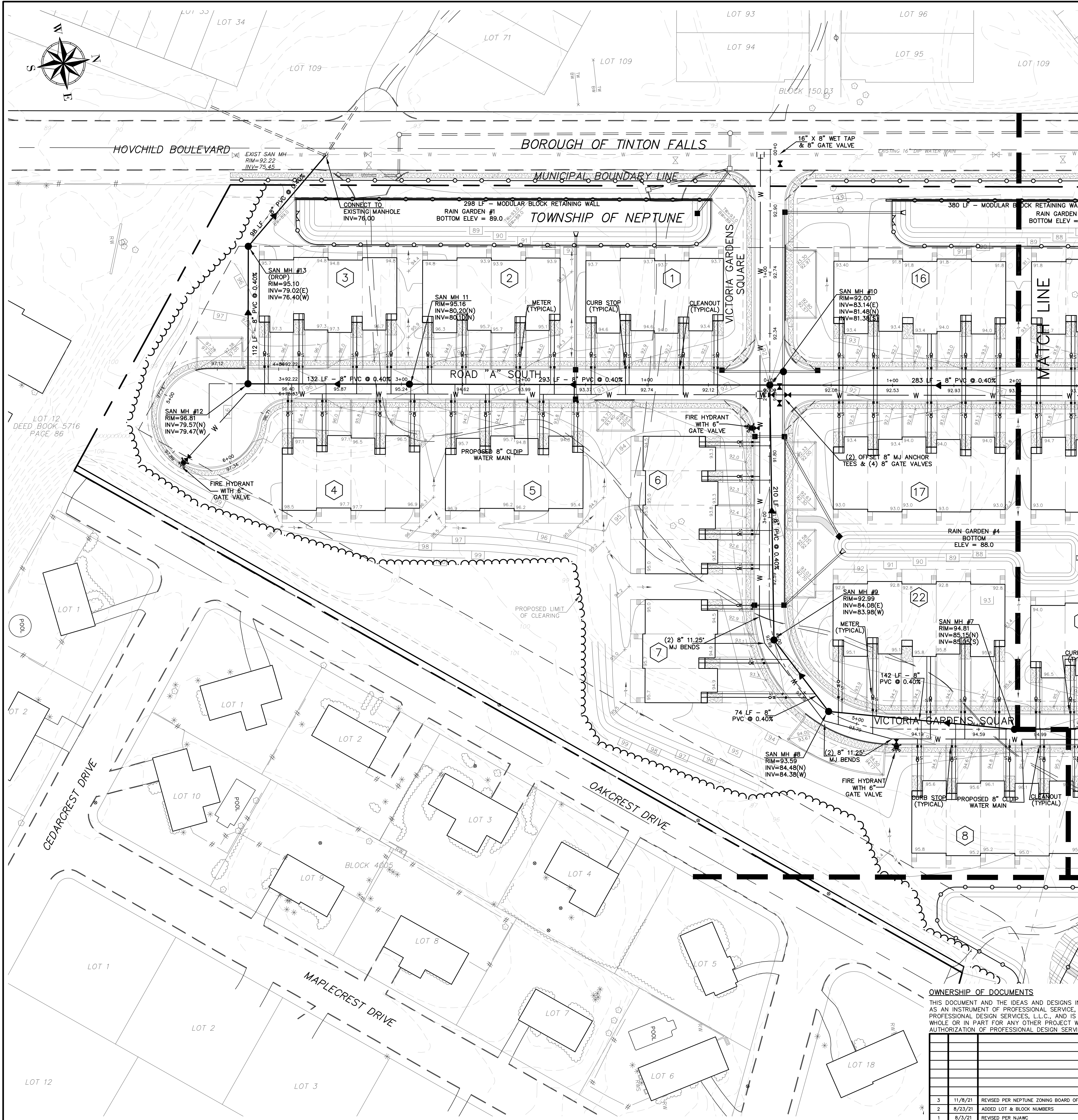
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 ENVIRONMENTAL SCIENTISTS, CONSTRUCTION SERVICES
 1245 AIRPORT ROAD, SUITE 1, LAKEWOOD, NEW JERSEY 08701
 PHONE 732 363 0060 FAX 732 363 0073
 ENGINEERING@PDS-NJ.COM WWW.PDS-NJ.COM
 NEW JERSEY STATE BOARD OF P.E. & L.S.
 CERTIFICATE OF AUTHORIZATION NO. 24GA28125400

WILLIAM A. STEVENS, P.E., P.P.
 PROFESSIONAL ENGINEER, NEW JERSEY LIC. #39115
 PROFESSIONAL PLANNER, NEW JERSEY LIC. #3394

PRELIMINARY & FINAL MAJOR SUBDIVISION
STORM DRAINAGE PLAN
VICTORIA GARDENS
 BLOCK 4001 - LOTS 1, 2 & 3
 TOWNSHIP OF NEPTUNE
 MONMOUTH COUNTY NEW JERSEY

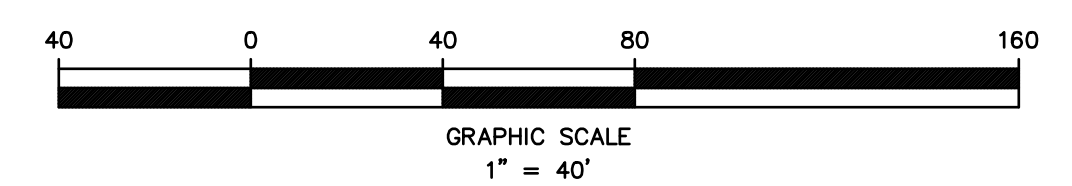
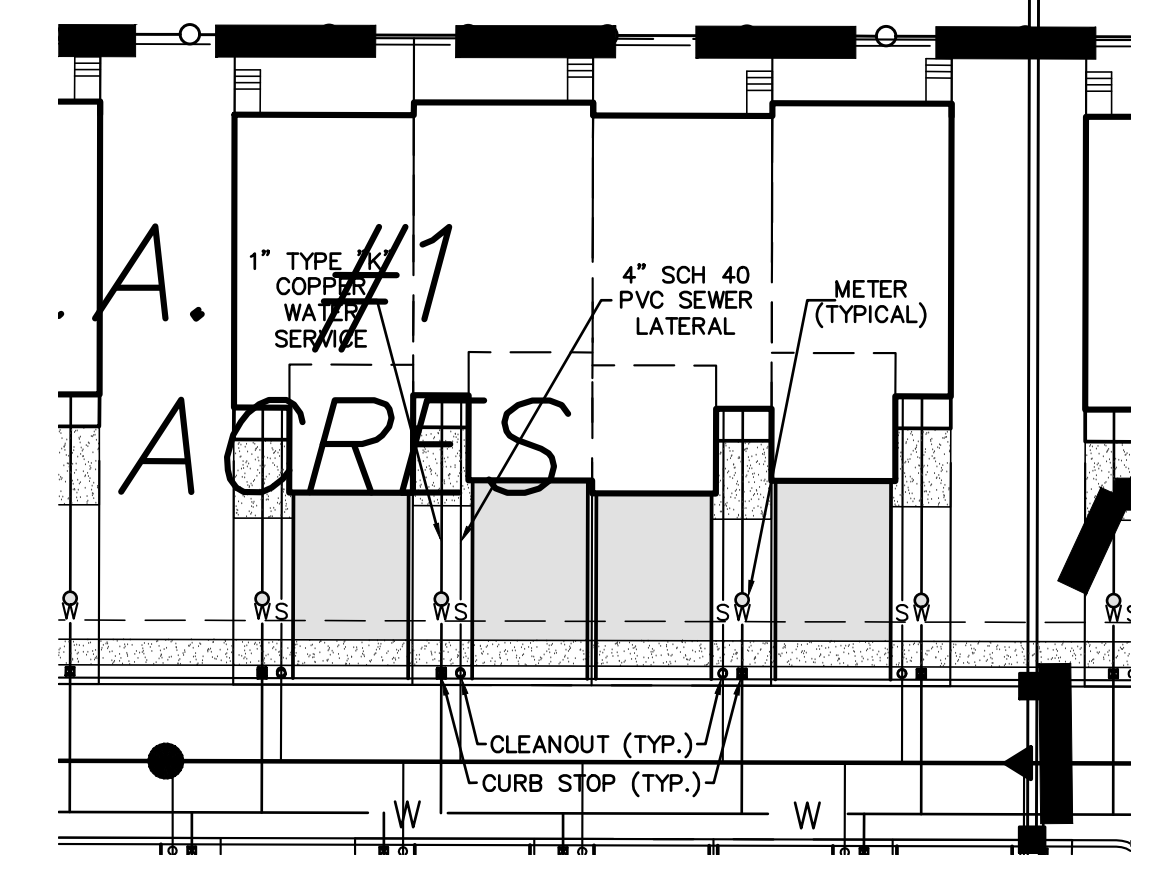
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| SCALE: 1" = 40' | DATE: MAY 25, 2021 | JOB NUMBER: 321644 | SHEET 11 |
| DRAWN BY: SDC | DESIGNED BY: IMB | CHECKED BY: WAS | 34 |



- ### GENERAL UTILITY NOTES
- THRUST BLOCKS ARE TO BE PROVIDED AT ALL WATER MAINS, BENDS, FITTINGS AND REDUCERS.
 - FIRE HYDRANTS MUST BE SUPPLIED BY A MINIMUM OF 6" WATER LINES.
 - ALL SANITARY LATERALS SHALL BE INSTALLED WITH A MINIMUM SLOPE OF 1/4" PER FOOT.
 - AT THE SANITARY LATERAL WYE OR TEE-WYE, MATCH THE CROWN OF THE SEWER MAINS AND LATERALS.
 - PROVIDE A TEN FOOT (10') MINIMUM HORIZONTAL SEPARATION BETWEEN SEWER MAINS AND WATER MAINS. IF SUCH LATERAL SEPARATION IS NOT POSSIBLE, THE PIPES SHALL BE IN SEPARATE TRENCHES WITH THE SEWER AT LEAST 18 INCHES BELOW THE BOTTOM OF THE WATER MAIN. WHERE SEPARATION IS NOT MAINTAINED BETWEEN THE WATER AND SEWER MAINS OR THE SEWER MAIN IS ABOVE THE WATER MAIN, INSTALL THE SEWER WITH DUCTILE IRON PIPE WITH WATER TIGHT JOINTS THAT ARE A DISTANCE OF AT LEAST 10 FEET ON EITHER SIDE OF THE WATER MAIN.
 - UTILITY CROSSING REQUIREMENTS:
 - IF A SEWER MAIN CROSSES LESS THAN 6 INCHES ABOVE THE WATER MAIN, SUPPORT THE SEWER MAIN WITH A CONCRETE CRADLE.
 - IF A WATER MAIN CROSSES LESS THAN 6 INCHES ABOVE THE SEWER MAIN, SUPPORT THE WATER MAIN WITH A CONCRETE CRADLE.
 - IF OTHER PIPING OR UTILITIES CROSS LESS THAN 18 INCHES ABOVE THE SEWER, SUPPORT THE TOP PIPING OR UTILITIES WITH CONCRETE CRADLES.
 - IF OTHER PIPING OR UTILITIES CROSS LESS THAN 6 INCHES ABOVE THE WATER, SUPPORT THE TOP PIPING OR UTILITIES WITH CONCRETE CRADLES.
 - IF A WATER OR SEWER MAIN CROSSES LESS THAN 6 INCHES ABOVE OTHER PIPING OR UTILITIES, SUPPORT THE WATER OR SEWER MAIN WITH A CONCRETE CRADLE.
 - PROVIDE 4'-0" MINIMUM OVER SEWER MAINS. PROVIDE 3'-0" MINIMUM OVER SEWER LATERALS.
 - ALL SANITARY SEWER SHALL BE PVC OR DUCTILE IRON PIPE CLASS 52 CONFORMING TO ASTM D-3034; SDR-35 WITH PUSH ON JOINTS UNLESS OTHERWISE NOTED.
 - ALL WATER MAINS SHALL BE CLASS 52, CEMENT LINED DUCTILE IRON PIPE, RATED AT 150 PSI MINIMUM. PIPE JOINTS SHALL BE OF PUSH-ON TYPE OR MECHANICAL JOINT TYPE.
 - ALL WATER SERVICES AND PLUMBING SHALL CONFORM WITH THE PLUMBING SUBCODE NJAC 5:23-3.15.
 - ALL WATER VALVES SHALL BE RESILIENT WEDGE TYPE IN ACCORDANCE WITH THE AMERICAN WATER WORKS ASSOCIATION STANDARD SPECIFICATION C-509.
 - VALVES SHALL BE PLACED ON WATER DISTRIBUTION MAINS NOT MORE THAN 1000 FEET APART.
 - ALL DEAD END WATER MAINS SHALL BE TERMINATED WITH A FIRE HYDRANT.
 - WATER MAIN FITTINGS TO BE USED WHEREVER JOINT DEFLECTION EXCEEDS MANUFACTURERS SPECIFICATIONS.
 - CONTRACTOR SHALL USE MEGALUGS ON ALL MECHANICAL JOINT FITTINGS.
 - CONTRACTOR SHALL BE ALLOWED TO USE MECHANICAL JOINT HYDRANT TEES WITH ROTATING GLANDS, AS EQUAL TO THE FIRE HYDRANT ASSEMBLY CONNECTIONS SHOWN IN THE CONSTRUCTION DETAILS.
 - THE WATER FLOW FOR FIRE PROTECTION AND EXTINGUISHMENT SHALL MEET OR EXCEED THE RECOMMENDATION CALCULATED UNDER THE ISO STANDARDS.
 - A KNOX BOX SHALL BE MAINTAINED AND INSTALLED ON ALL STRUCTURES.
 - ALL HYDRANTS ARE TO BE MAINTAINED BY THE PROPERTY OWNER.
 - ALL FIRE SUPPRESSION SYSTEMS AND BACKFLOW PREVENTERS SHALL BE PLACED WITHIN EACH INDIVIDUAL BUILDING.

LEGEND

| | |
|---------------------------|---|
| EXISTING EDGE OF PAVEMENT | — |
| EXISTING CURB | — |
| EXISTING DEPRESSED CURB | — |
| PROPOSED CURB | — |
| PROPOSED DEPRESSED CURB | — |
| EXISTING WOODLINE | — |
| PROPOSED WOODLINE | — |
| EXISTING SPOT ELEVATION | — |
| PROPOSED SPOT ELEVATION | — |
| EXISTING CONTOUR | — |
| PROPOSED CONTOUR | — |
| EXISTING INLET | □ |
| PROPOSED INLET | □ |
| EXISTING MANHOLE | ○ |
| PROPOSED MANHOLE | ○ |
| PROPOSED GATE VALVE | ⊗ |



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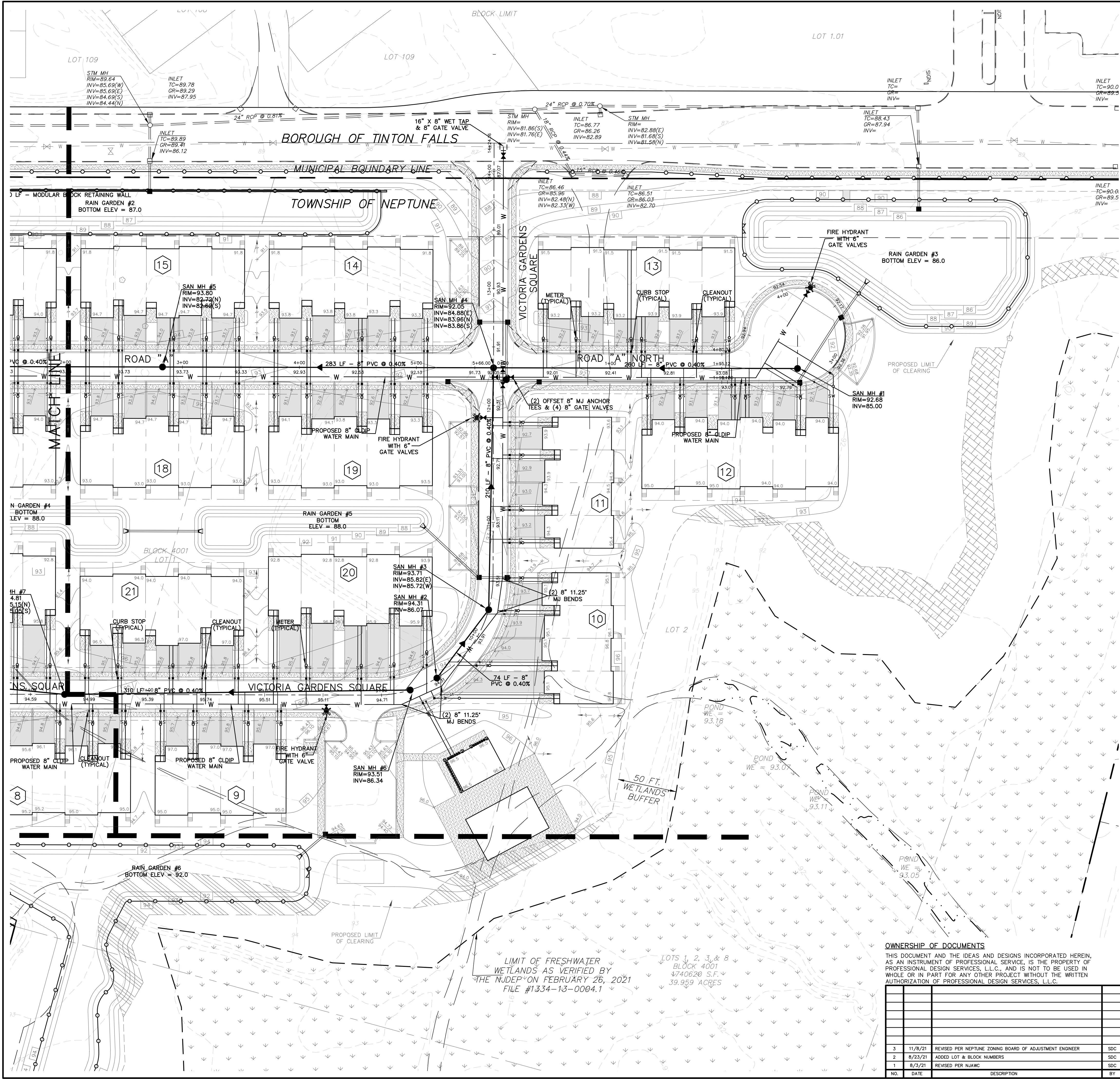
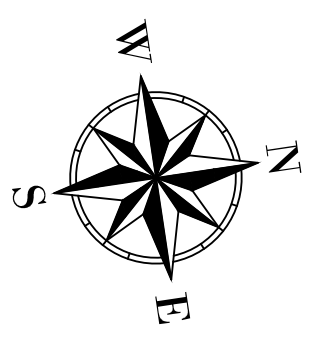
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| 3 | 11/8/21 | REVISED PER NEPTUNE ZONING BOARD OF ADJUSTMENT ENGINEER | SDC |
| 2 | 8/23/21 | ADDED LOT & BLOCK NUMBERS | SDC |
| 1 | 8/3/21 | REVISED PER NAWAC | SDC |

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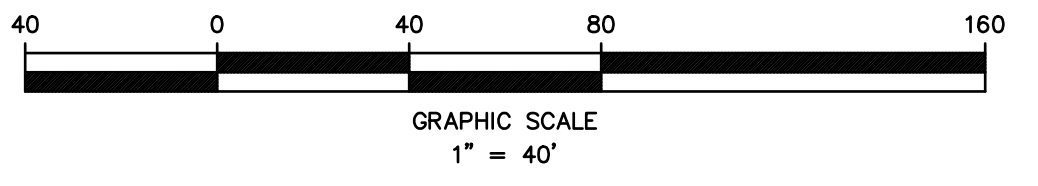
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UTILITY PLAN
VICTORIA GARDENS
 BLOCK 4001 - LOTS 1, 2 & 3
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 MONMOUTH COUNTY NEW JERSEY

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| SCALE: 1" = 40' | DATE: MAY 25, 2021 | JOB NUMBER: 321644 | SHEET 12 |
| DRAWN BY: SDC | DESIGNED BY: IMB | CHECKED BY: WAS | 34 |



LEGEND

| | |
|---------------------------|-----|
| EXISTING EDGE OF PAVEMENT | --- |
| EXISTING CURB | == |
| EXISTING DEPRESSED CURB | --- |
| PROPOSED CURB | --- |
| PROPOSED DEPRESSED CURB | --- |
| EXISTING WOODLINE | ~ |
| PROPOSED WOODLINE | ~ |
| EXISTING SPOT ELEVATION | ▲ |
| PROPOSED SPOT ELEVATION | ▲ |
| EXISTING CONTOUR | --- |
| PROPOSED CONTOUR | --- |
| EXISTING INLET | □ |
| PROPOSED INLET | ■ |
| EXISTING MANHOLE | ○ |
| PROPOSED MANHOLE | ● |
| PROPOSED GATE VALVE | ⊕ |



LIMIT OF FRESHWATER WETLANDS AS VERIFIED BY THE NJDEP ON FEBRUARY 26, 2021 FILE #1334-13-0004.1

LOTS 1, 2, 3, & 8
BLOCK 4001
474,062.0 S.F.
39,959 ACRES

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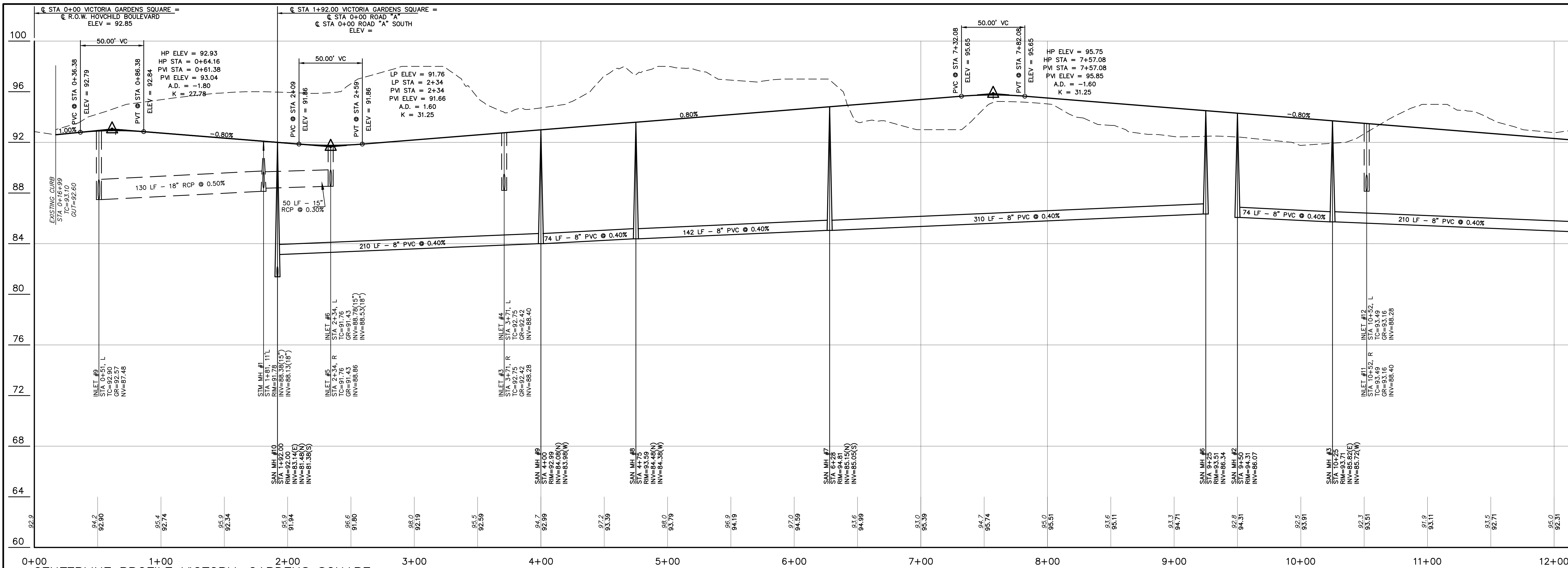
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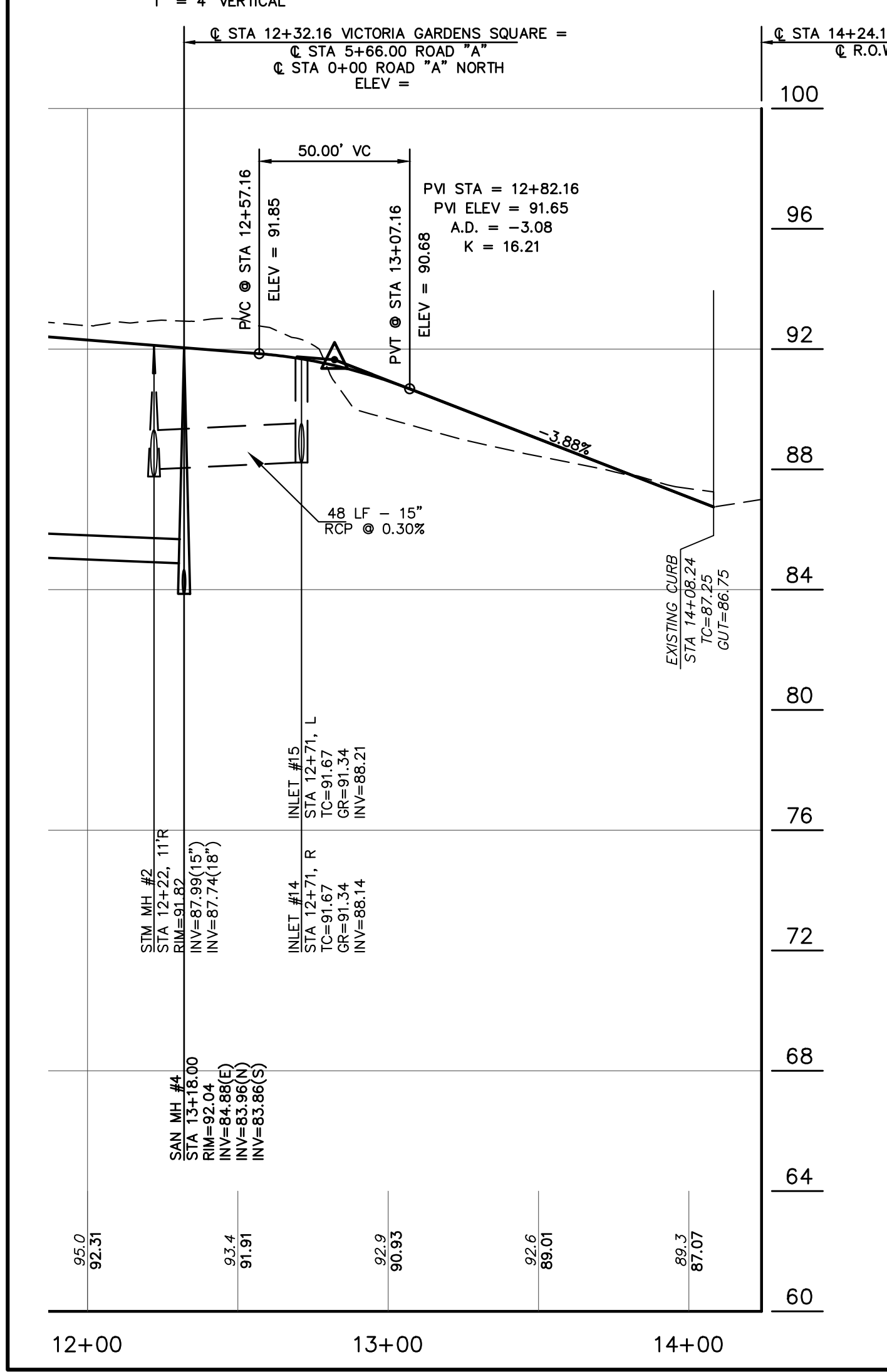
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MONMOUTH COUNTY NEW JERSEY

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CENTERLINE PROFILE VICTORIA GARDENS SQUARE



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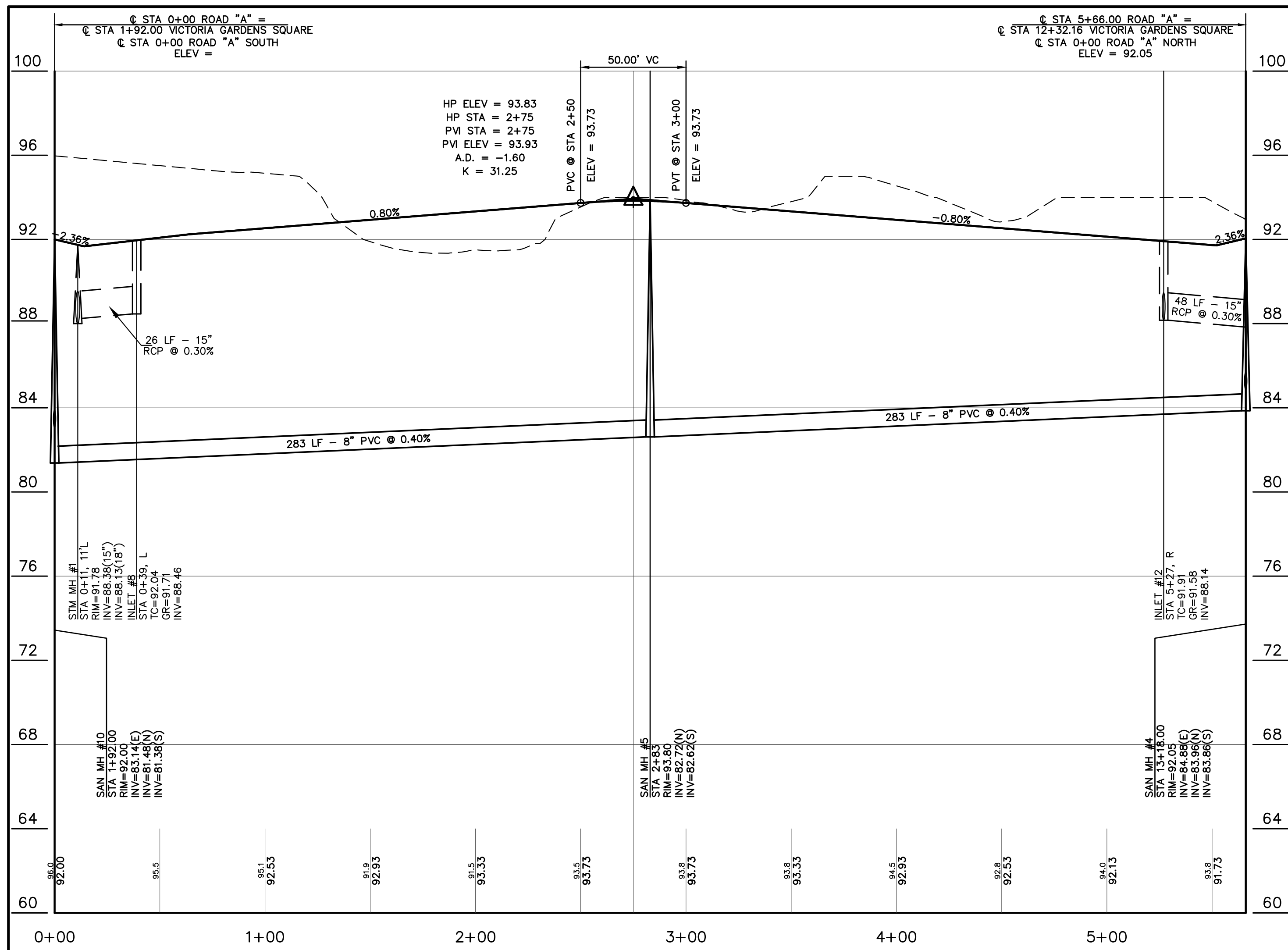
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WILLIAM A. STEVENS, P.E., P.P.
 PROFESSIONAL ENGINEER, NEW JERSEY LIC #39915
 PROFESSIONAL PLANNER, NEW JERSEY LIC #5394

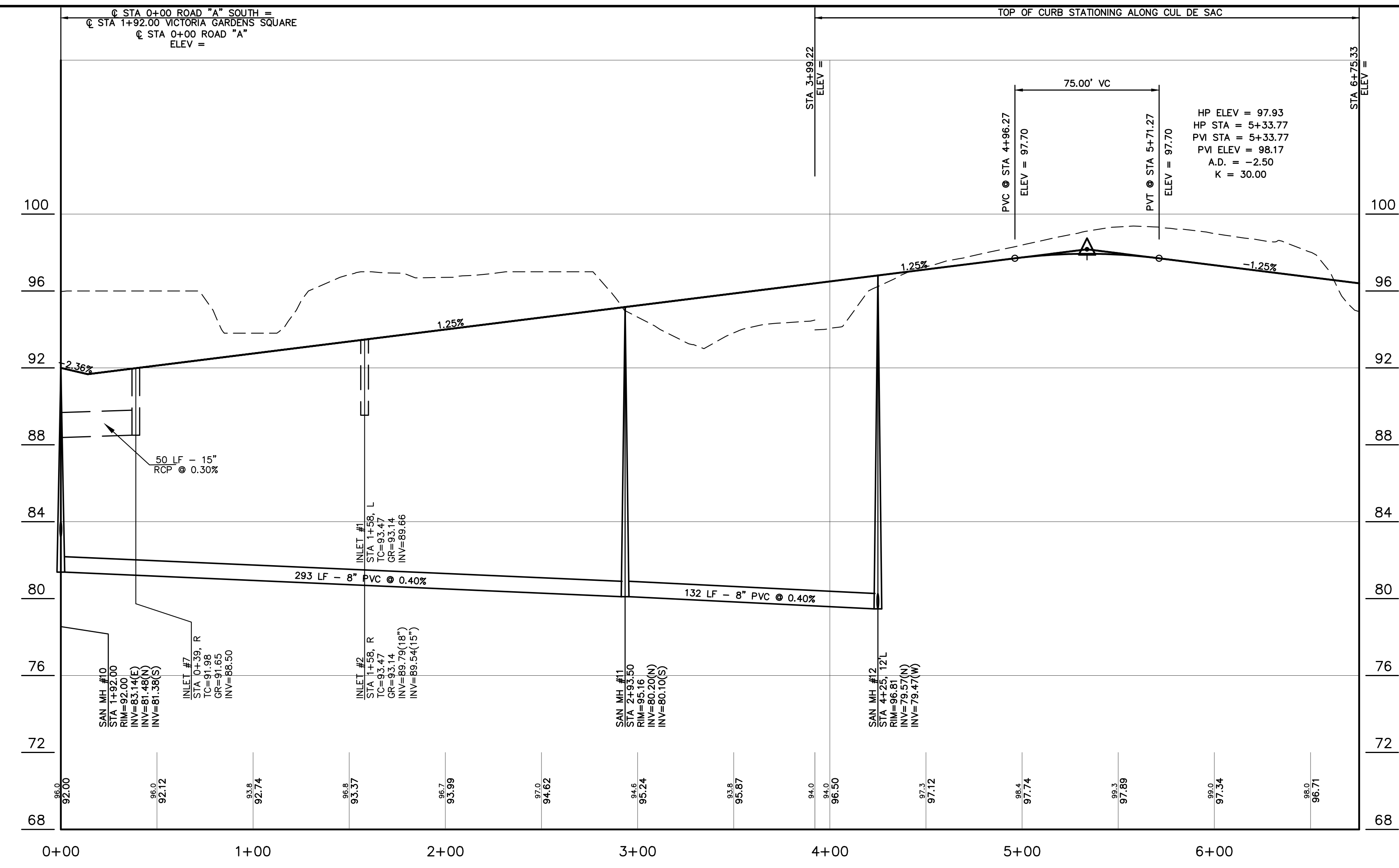
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PROFILES
VICTORIA GARDENS
 BLOCK 4001 - LOTS 1, 2 & 3
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 MONMOUTH COUNTY NEW JERSEY

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| SCALE: AS SHOWN | DATE: MAY 25, 2021 | JOB NUMBER: 321644 | SHEET 14 |
| DRAWN BY: SDC | DESIGNED BY: IMB | CHECKED BY: WAS | 34 |



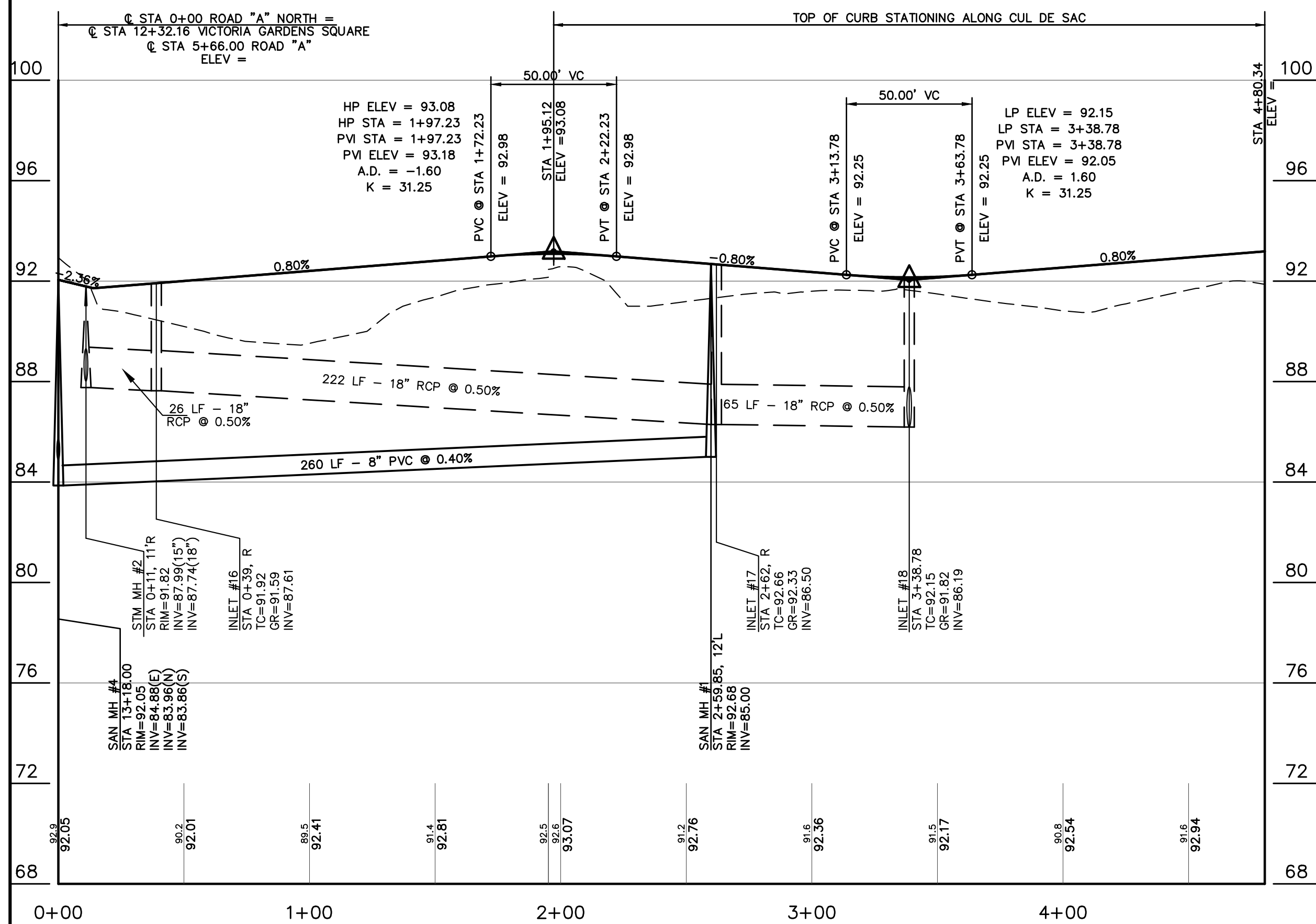
CENTERLINE PROFILE ROAD "A"

SCALE: 1" = 40' HORIZONTAL
1" = 4' VERTICAL



CENTERLINE PROFILE ROAD "A" SOUTH

SCALE: 1" = 40' HORIZONTAL
1" = 4' VERTICAL



CENTERLINE PROFILE ROAD "A" NORTH

SCALE: 1" = 40' HORIZONTAL
1" = 4' VERTICAL

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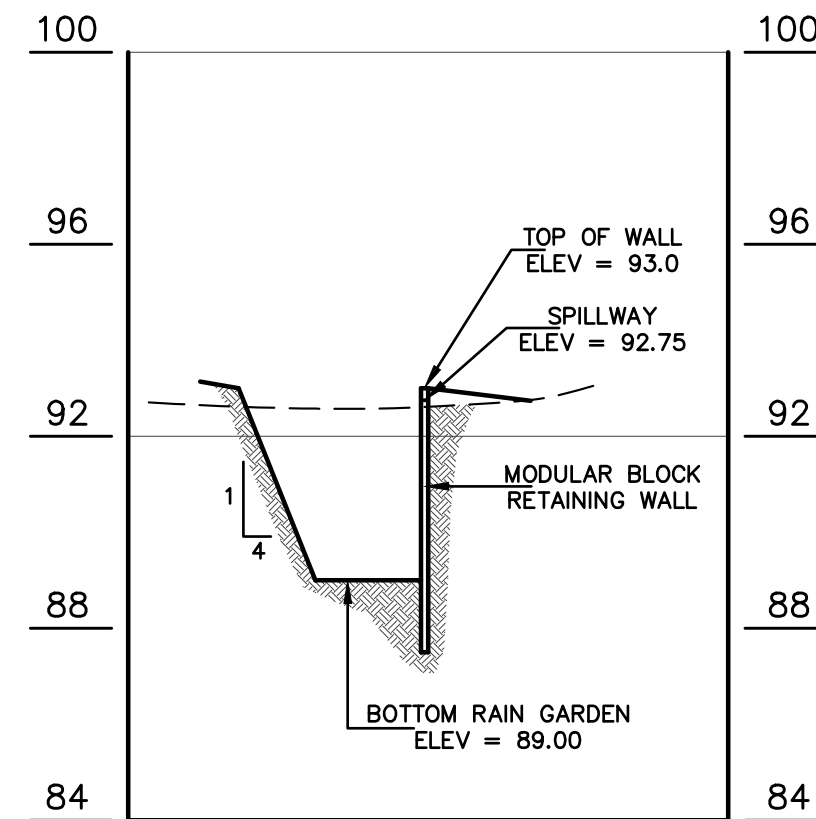
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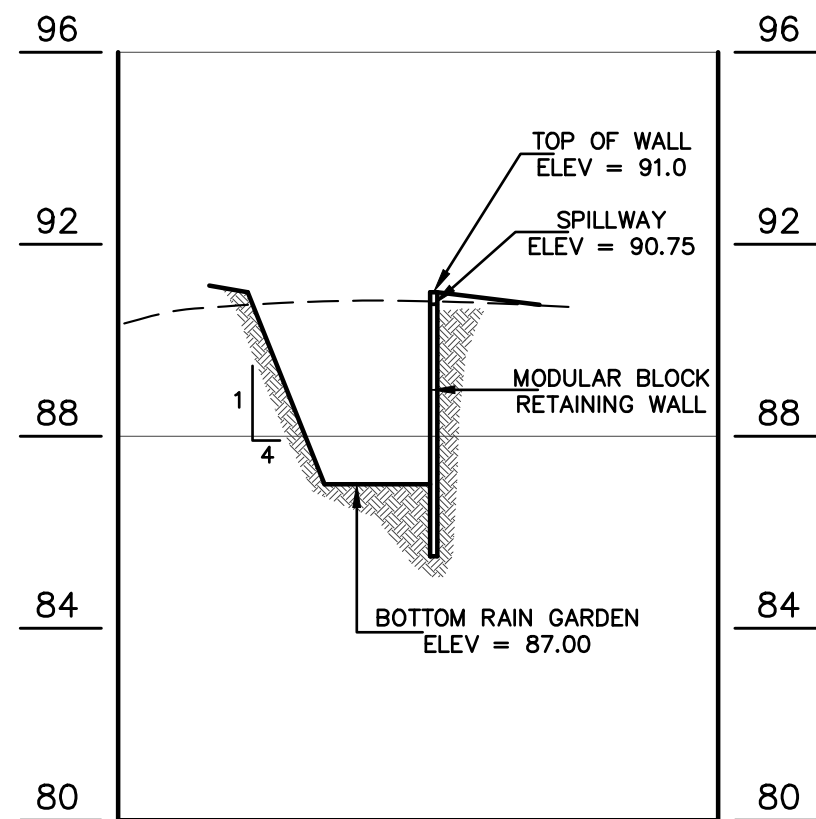
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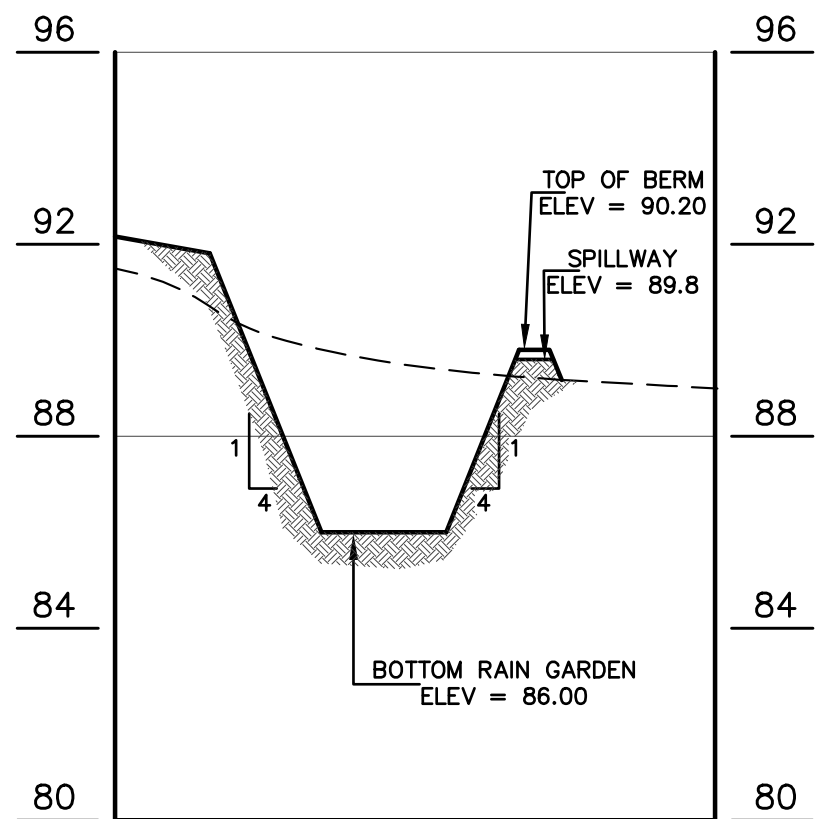
RAIN GARDEN #1 SECTION

SCALE: 1" = 40' HORIZONTAL
1" = 4' VERTICAL



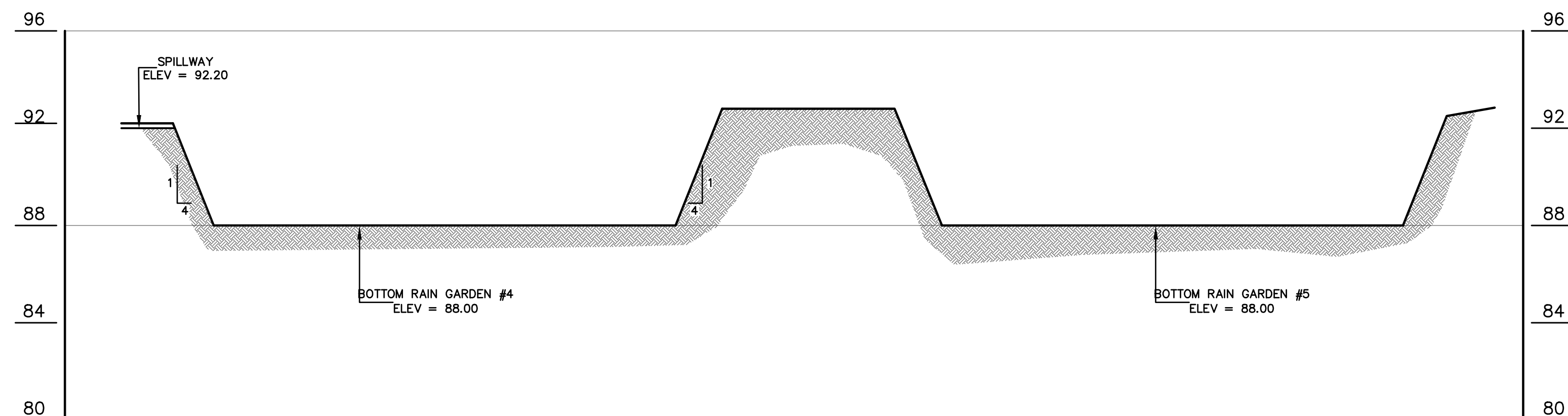
RAIN GARDEN #2 SECTION

SCALE: 1" = 40' HORIZONTAL
1" = 4' VERTICAL



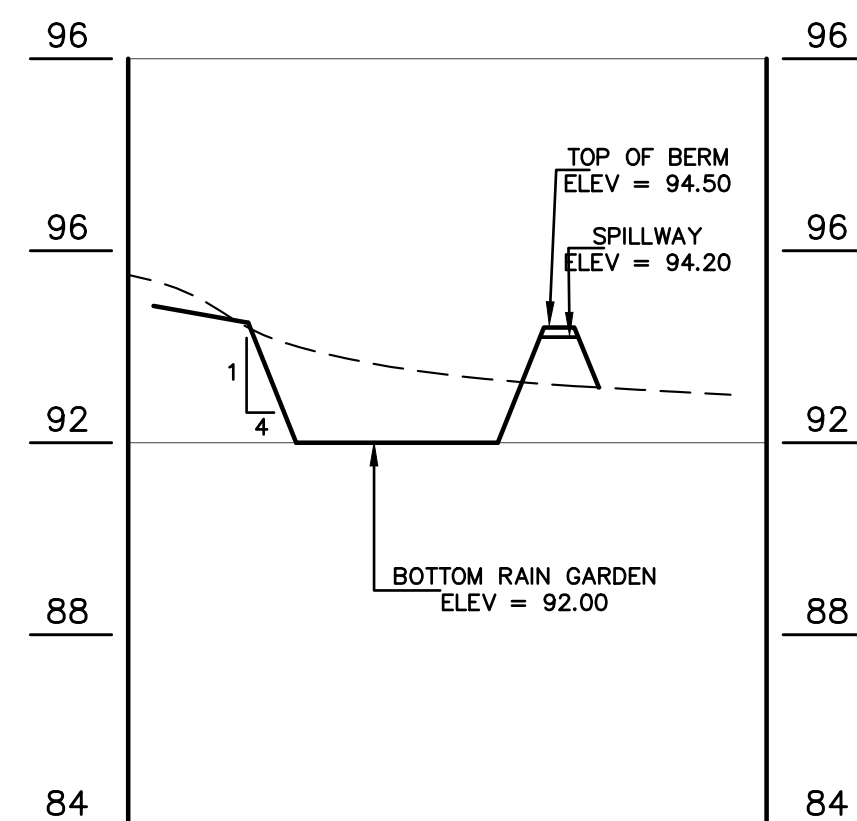
RAIN GARDEN #3 SECTION

SCALE: 1" = 40' HORIZONTAL
1" = 4' VERTICAL



RAIN GARDENS #4 & #5 SECTION

SCALE: 1" = 40' HORIZONTAL
1" = 4' VERTICAL



RAIN GARDEN #6 SECTION

SCALE: 1" = 40' HORIZONTAL
1" = 4' VERTICAL


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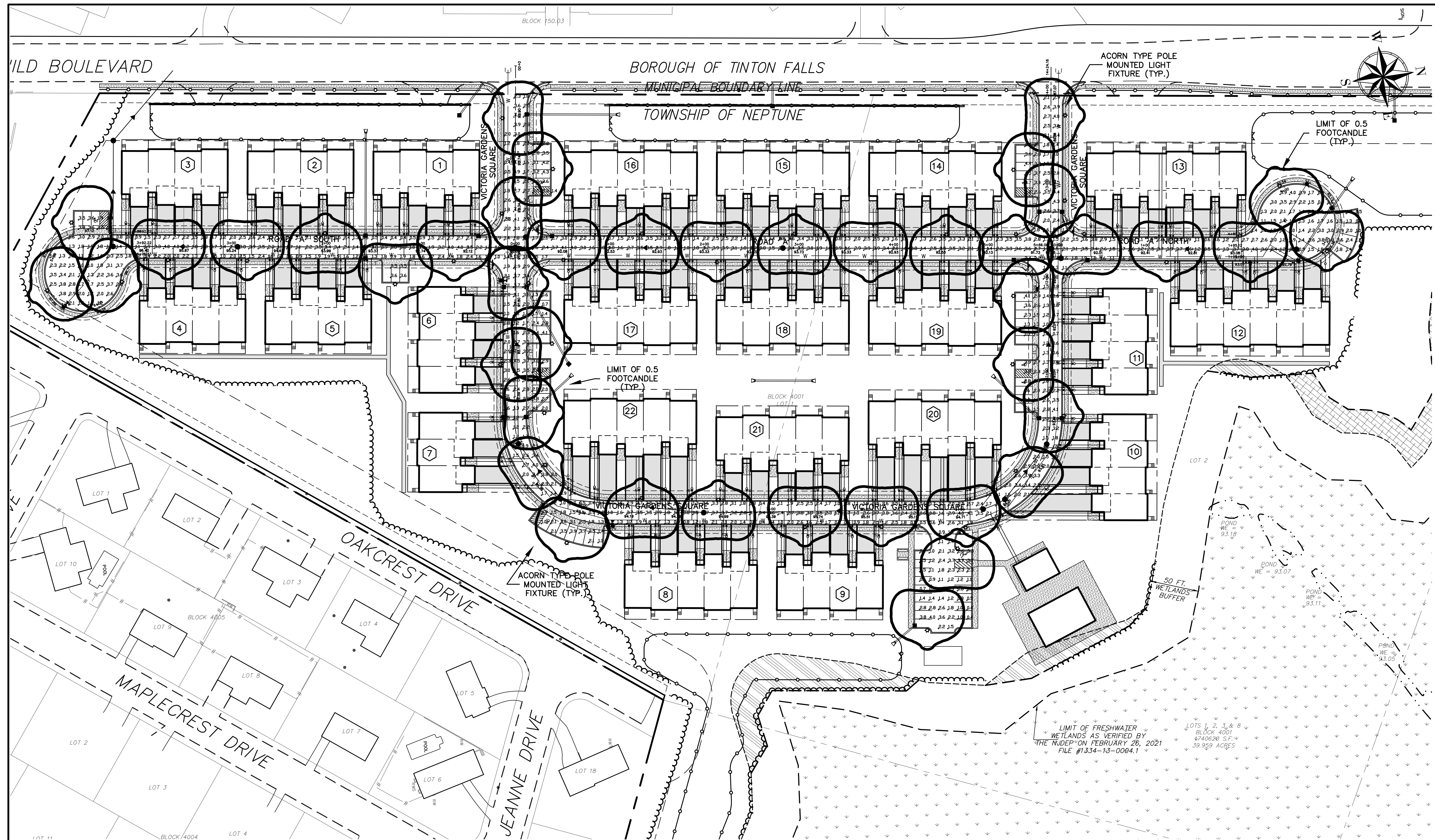
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PRELIMINARY & FINAL MAJOR SUBDIVISION
RAIN GARDEN SECTIONS
VICTORIA GARDENS
BLOCK 4001 - LOTS 1, 2 & 3
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MONMOUTH COUNTY NEW JERSEY

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| DRAWN BY: SDC | DESIGNED BY: IMB | CHECKED BY: WAS | 34 |



850SRLED OLD TOWN SERIES

LED

| | | | | | | | |
|--|--------------------|--------------------------------------|---|---|--------------------------------------|---------------|--------------|
| EPB 1.21(89) WEIGHT 43 LBS | 7 YEAR WARRANTY | Lumen Range 2,300/10 14,110 | Life Span L70 MINIMUM 100,000 HOURS | UL LISTED ELECTRICAL EQUIPMENT CLASSIFICATION E-1 | CLICK FOR FORAQA'S EQUIVALENTS | RATED IP68 | JOB NAME |
| BUILD A PART NUMBER ORDERING EXAMPLE: 2A-850SRLED-5P-16L40T5-MDL014-A-PEC-FHD/480PM/4212FPA/GFF/8CKT | | | | | | | FIXTURE TYPE |
| Mounting Configuration • IW - Wall Mount: PE - Post Top, A - Arm Mount, AM - Arm Mount, PD - Post Base • FT - Flush Mount • EC - Electronic Control • EC2 - Electronic Control with Custom Logo • FHD - Perforated Brass Decorative Ring • GFI - 15A Duplex GFI for Utility Filter • TB - Terminal Block • HSS - 120" House Side Shield • BLOC - Back Light Optical Control | | | | | | | MEMO |
| Specifications The luminaire shall be 16" diameter and 40-1/2" tall. The acorn shall be supplied with a cast aluminum finial and a solid, cast aluminum roof which includes optimized heat sinks to provide maximum life and performance for the LED light sources. The acorn shall be sealed to the cast aluminum roof to provide a moisture-free and bug-free optics chamber for the LED light sources and rated IP68. The optional perforated brass decorative ring (PBR) is available in polished brass or painted finish. The 2-1/4" wide brass flange allowing light transfer through decorative openings. The optional CDR is a heavy cast aluminum ring with four cast medallions finished in accent gold. Also available are custom medallions that can be specified with a name, initial or logo. The Luminaire shall be UL listed in US and Canada. | | | | | | | |

Sternberg Lighting
ESTABLISHED 1923 / EMPLOYEE OWNED

800-821-3376
595 Lawrence Ave., Roseville, IL 60172
info@sternberglighting.com
www.sternberglighting.com

LIGHTING NOTES

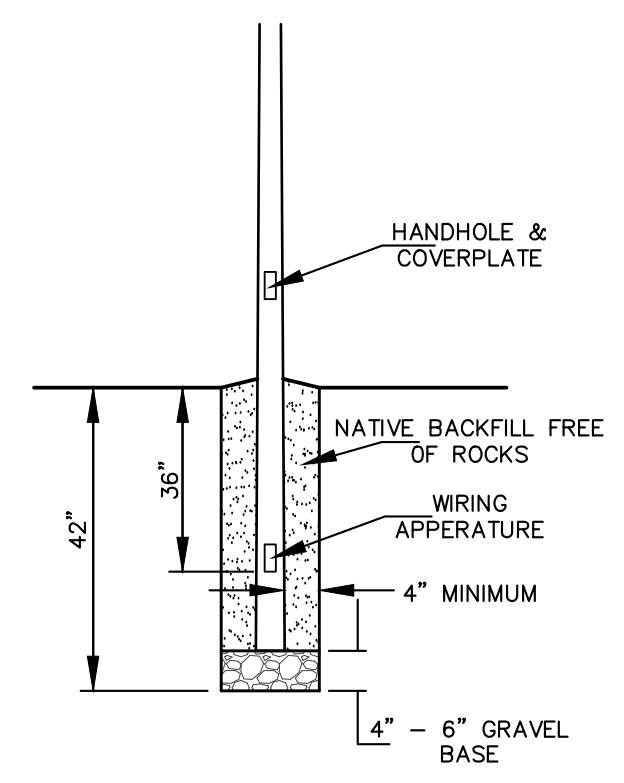
THE USE OF HIGH PRESSURE SODIUM LIGHTS IS PROHIBITED FOR ALL FIXTURES.

ALL LIGHTING SHALL PROVIDE FOR NON-GLARE LIGHTS FOCUSED DOWNWARD.

ALL LIGHTS WILL BE PROVIDED WITH HOUSE SIDE SHIELDS TO PREVENT LIGHT SPILLAGE ONTO ADJOINING PROPERTIES AND PROPOSED BUILDINGS.

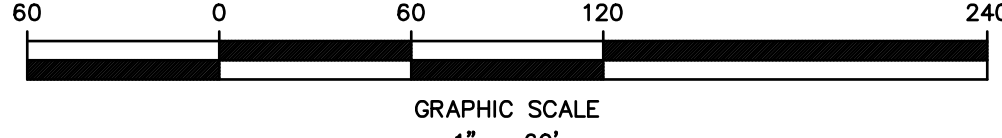
SECTION 502.B.10
Lighting: Light fixtures attached to the exterior of a building shall be designed to be architecturally compatible with the style, materials, colors and details of such building and other lighting fixtures used on the site. Consideration shall also be given to the type of light source utilized and the light quality such produces. The type of light source used on buildings, signs, parking areas, pedestrian walkways and other areas of a site shall be the same or compatible. The use of low-pressure sodium or mercury vapor lighting either attached to buildings or to light the exterior of buildings shall be prohibited.

SECTION 502.B.10
Building-attached fixtures: Light fixtures attached to the exterior of a building shall be designed to be architecturally compatible with the style, materials, colors and details of such building and other lighting fixtures used on the site. Consideration shall also be given to the type of light source utilized and the light quality such produces. The type of light source used on buildings, signs, parking areas, pedestrian walkways and other areas of a site shall be the same or compatible. The use of high-pressure sodium lighting shall be prohibited for all fixtures.



DIRECT BURY LIGHT POLE
NTS

| Symbol | Height | Quantity | Manufacturer | Catalog Number | Description | Lamp | Number Lamps | File name | Lumens Per Lamp | Light Loss Factor | Voltage | Efficiency | Polar Plot |
|--------|--------|----------|--------------------|------------------------------|--|--------|--------------|---------------------------------|-----------------|-------------------|---------|------------|------------|
| ⊙ | 16 FT. | 43 | Sternberg Lighting | 850SRLED-24L40T4-MDL018-BLOC | 850SRLED OLD TOWN SERIES ACORN, Luxeon 50-50 LED, T4, Roc optic shield | Luxeon | 1 | 850SRLED-24L40T4-MDL018-BLOCIES | 7800 | 1 | 119 | 100% | |



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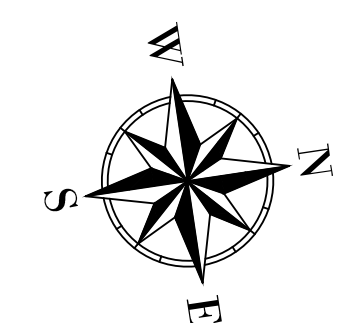
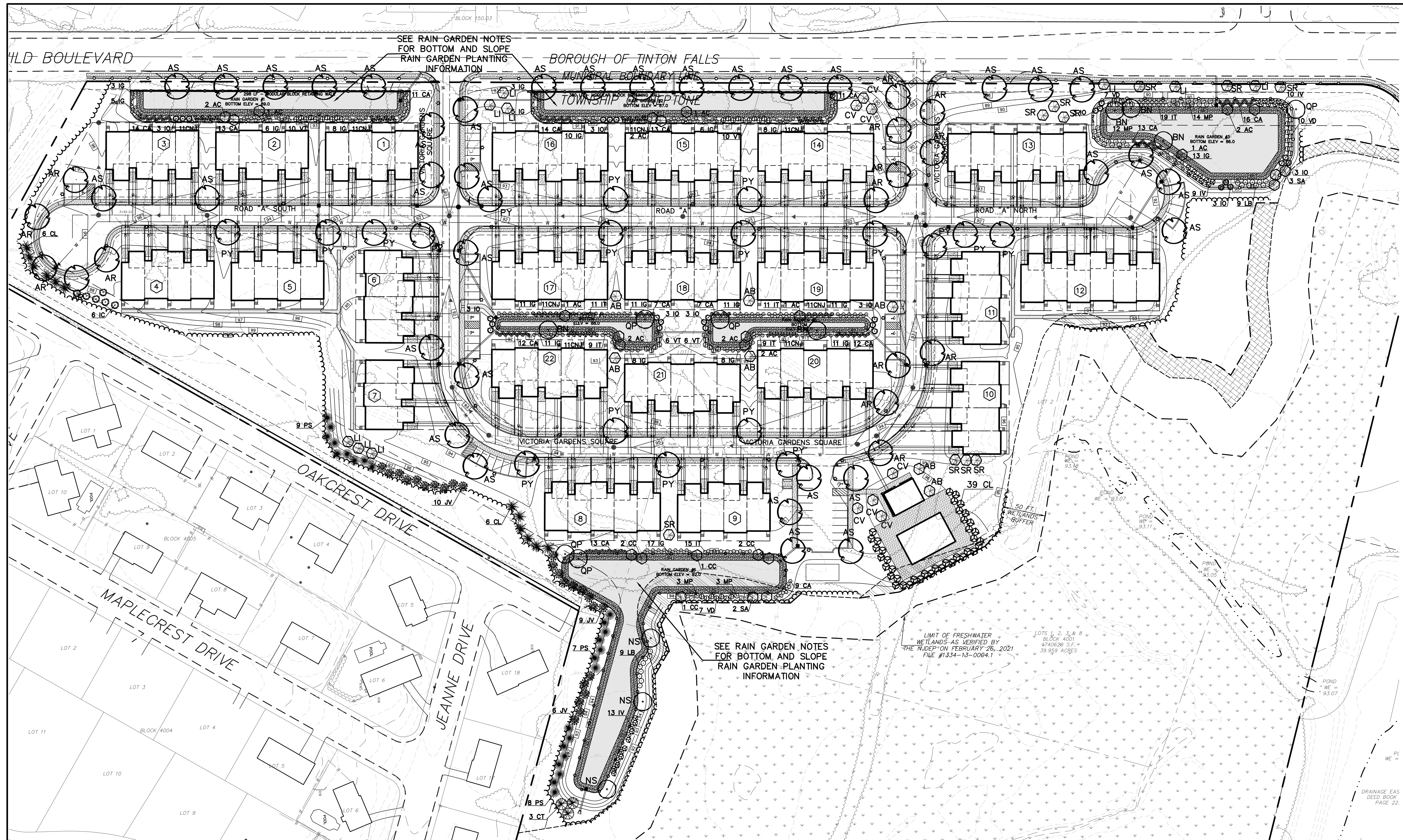
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PROFESSIONAL DESIGN SERVICES, L.L.C.
CONSULTING ENGINEERS, LAND SURVEYORS, PLANNERS, ENVIRONMENTAL SCIENTISTS, CONSTRUCTION SERVICES
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NEW JERSEY STATE BOARD OF P.E. & L.S. CERTIFICATE OF AUTHORIZATION NO. 24G28125400

WILLIAM A. STEVENS, P.E., P.P.
PROFESSIONAL ENGINEER, NEW JERSEY LIC. #39115
PROFESSIONAL PLANNER, NEW JERSEY LIC. #394

PRELIMINARY & FINAL MAJOR SUBDIVISION LIGHTING PLAN

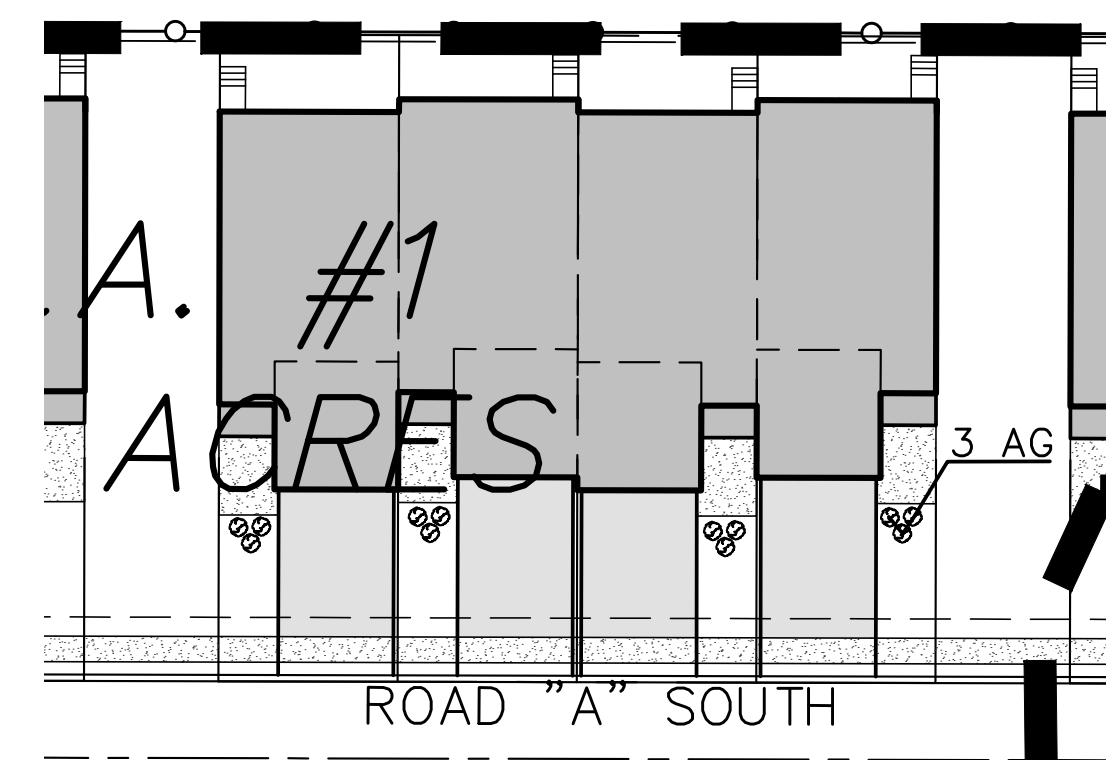
VICTORIA GARDENS
BLOCK 4001 - LOTS 1, 2 & 3
TOWNSHIP OF NEPTUNE
MONMOUTH COUNTY NEW JERSEY

| | | | |
|-----------------|--------------------|--------------------|----------|
| SCALE: 1" = 60' | DATE: MAY 25, 2021 | JOB NUMBER: 321644 | SHEET 17 |
| DRAWN BY: SDC | DESIGNED BY: IMB | CHECKED BY: WAS | 34 |



PLANTING SCHEDULE

| KEY | QTY | BOTANICAL NAME | COMMON NAME | INSTALLED HEIGHT | CALIPER | ROOT | COMMENTS |
|-------------------------|-----|--|----------------------------|------------------|---------|------|---|
| Shade Trees | | | | | | | |
| AR | 15 | <i>Acer rubrum</i> 'October Glory' | October Glory Red Maple | 3'-3 1/2' | 8.8B | | Limbed up to 7 feet |
| AS | 38 | <i>Acer spectatum</i> 'Legacy' | Green Mountain Sugar Maple | 3'-3 1/2' | 8.8B | | Limbed up to 7 feet |
| BN | 5 | <i>Betula nigra</i> | River Birch | 2 1/2'-3' | 8.8B | | Fall Dig Hazard-Spring Planting Only |
| NS | 3 | <i>Nyssa sylvatica</i> | Black Gum | 2 1/2'-3' | 8.8B | | Fall Dig Hazard-Spring Planting Only |
| PY | 18 | <i>Prunus x yedoensis</i> 'Akebono' | Akebono Yoshino Cherry | 3'-3 1/2' | 8.8B | | Limbed up to 7 feet, Fall Dig Hazard-Spring Planting Only |
| QP | 5 | <i>Quercus palustris</i> | Pin Oak | 2 1/2'-3' | 8.8B | | |
| Ornamental Trees | | | | | | | |
| AB | 7 | <i>Acer buergerianum</i> 'Streetwise' | Streetwise Trident Maple | 3'-3 1/2' | 8.8B | | SINGLE STEM, Fall Dig Hazard-Spring Planting Only |
| AC | 13 | <i>Amelanchier canadensis</i> | Shadblow Serviceberry | 6'-8' | 8.8B | | |
| CC | 6 | <i>Cercis canadensis</i> | Eastern Red Bud | 6'-8' | 8.8B | | Fall Dig Hazard-Spring Planting Only |
| CV | 6 | <i>Cataegus viridis</i> 'Winter King' | Winter King Hawthorne | 6'-8' | 8.8B | | Fall Dig Hazard-Spring Planting Only |
| LI | 9 | <i>Lagerstroemia indica</i> | Crepe Myrtle | 6'-8' | 8.8B | | Multi-stem |
| SA | 5 | <i>Sassafras albidum</i> | Sassafras | 6'-8' | 8.8B | | |
| SR | 10 | <i>Syringa reticulata</i> 'Ivory Silk' | Ivory Silk Japanese Lilac | 6'-8' | 8.8B | | |
| Evergreen Trees | | | | | | | |
| CL | 51 | <i>Chamaecyparis x Cupressocyparis leylandii</i> | Leyland Cypress | 6'-8' | 8.8B | | |
| CT | 3 | <i>Chamaecyparis thoides</i> | Atlantic White Cedar | 6'-8' | 8.8B | | |
| IC | 6 | <i>Ilex x 'Caneat'</i> | Oak Leaf Red Holly | 5'-6' | 8.8B | | |
| IO | 27 | <i>Ilex opaca</i> | American Holly | 5'-6' | 8.8B | | Use 4 "Jersey Knight" as Pollinator |
| IV | 25 | <i>Juniperus virginiana</i> | Eastern Red Cedar | 5'-6' | 8.8B | | |
| PS | 17 | <i>Pinus strobus</i> | Eastern White Pine | 6'-8' | 8.8B | | |
| Shrubs | | | | | | | |
| AG | 303 | <i>Abelia x grandiflora</i> 'Edward Goucher' | Edward Goucher Abelia | 30"-36" | #5 CONT | | |
| CA | 165 | <i>Clethra alafalpa</i> | Ruby Spice Summersweet | 24"-30" | #5 CONT | | |
| CN | 88 | <i>Ceanothus americanus</i> | New Jersey Tea | 24"-30" | #5 CONT | | |
| IG | 166 | <i>Ilex glabra</i> | Inkberry Holly | 24"-30" | #5 CONT | | |
| IT | 74 | <i>Itea virginiana</i> | Virginia Sweetpire | 24"-30" | #5 CONT | | |
| IV | 32 | <i>Ilex verticillata</i> | Winterberry Holly | 30"-36" | #5 CONT | | Plant 4 "Jim Dandy" as pollinator |
| LB | 18 | <i>Lindera benzoin</i> | Sweetgum | 30"-36" | #5 CONT | | |
| MP | 32 | <i>Maevia pennsylvanica</i> | Northern Bayberry | 30"-36" | #5 CONT | | |
| VD | 24 | <i>Viburnum dentatum</i> | Arrowwood Viburnum | 30"-36" | #5 CONT | | |
| VT | 22 | <i>Viburnum trilobum</i> | Cranberry Viburnum | 30"-36" | #5 CONT | | |



TYPICAL BUILDING LANDSCAPING DETAIL
1" = 30'

RAIN GARDEN BASIN NOTES:

1. RAIN GARDEN BASIN BOTTOM TO BE 6" K-5 SAND.
2. RAIN GARDEN BASIN SLOPE TO BE SEEDED WITH "RAIN GARDEN MIX" SEE AS MANUFACTURED BY PINELANDS NURSERY & SUPPLY, COLUMBUS, NJ OR APPROVED EQUAL. COVERAGE RATE: 11 LBS / ACRE.

OWNERSHIP OF DOCUMENTS

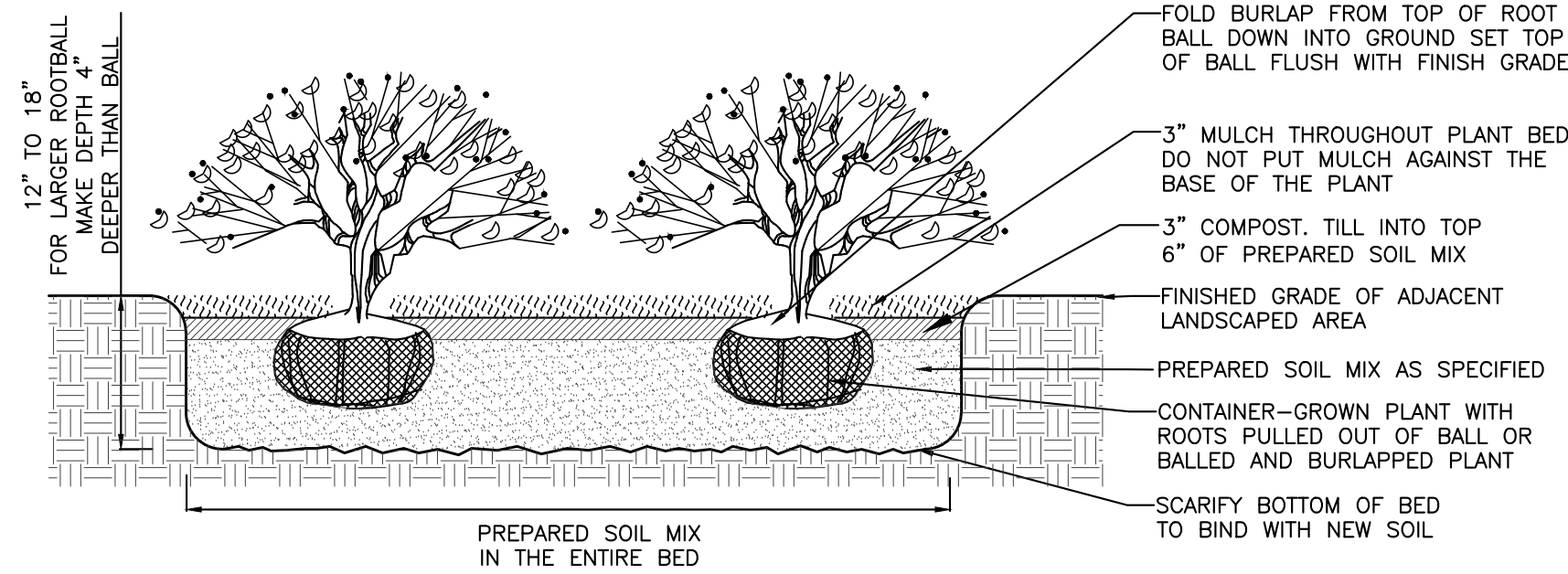
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| NO. | DATE | REVISION | DESCRIPTION | BY |
|-----|---------|---|-------------|-----|
| 3 | 11/8/21 | REVISED PER NEPTUNE ZONING BOARD OF ADJUSTMENT ENGINEER | | SDC |
| 2 | 8/23/21 | ADDED LOT & BLOCK NUMBERS | | SDC |
| 1 | 8/3/21 | REVISED PER NAWIC | | SDC |

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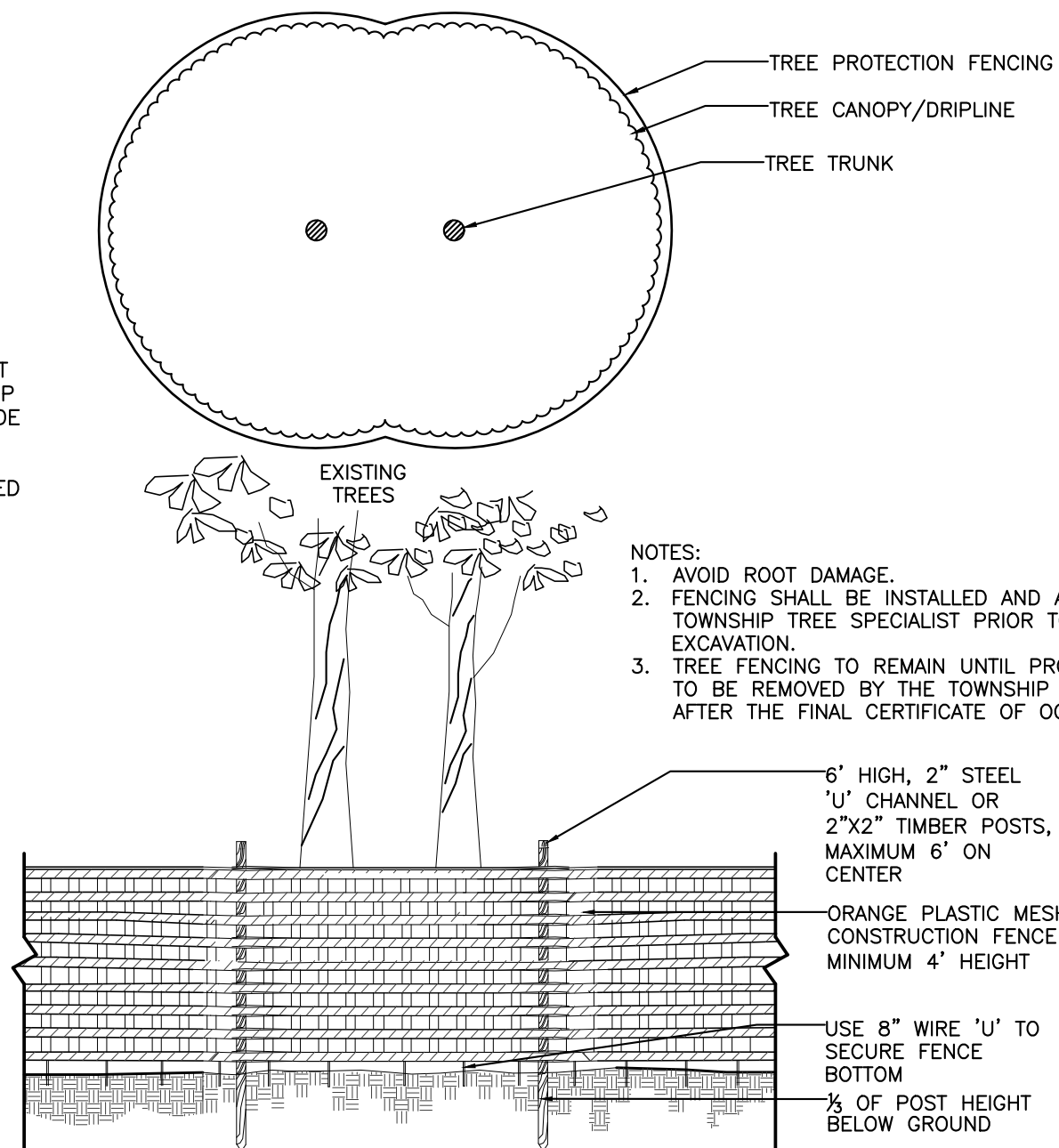
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LANDSCAPE PLAN
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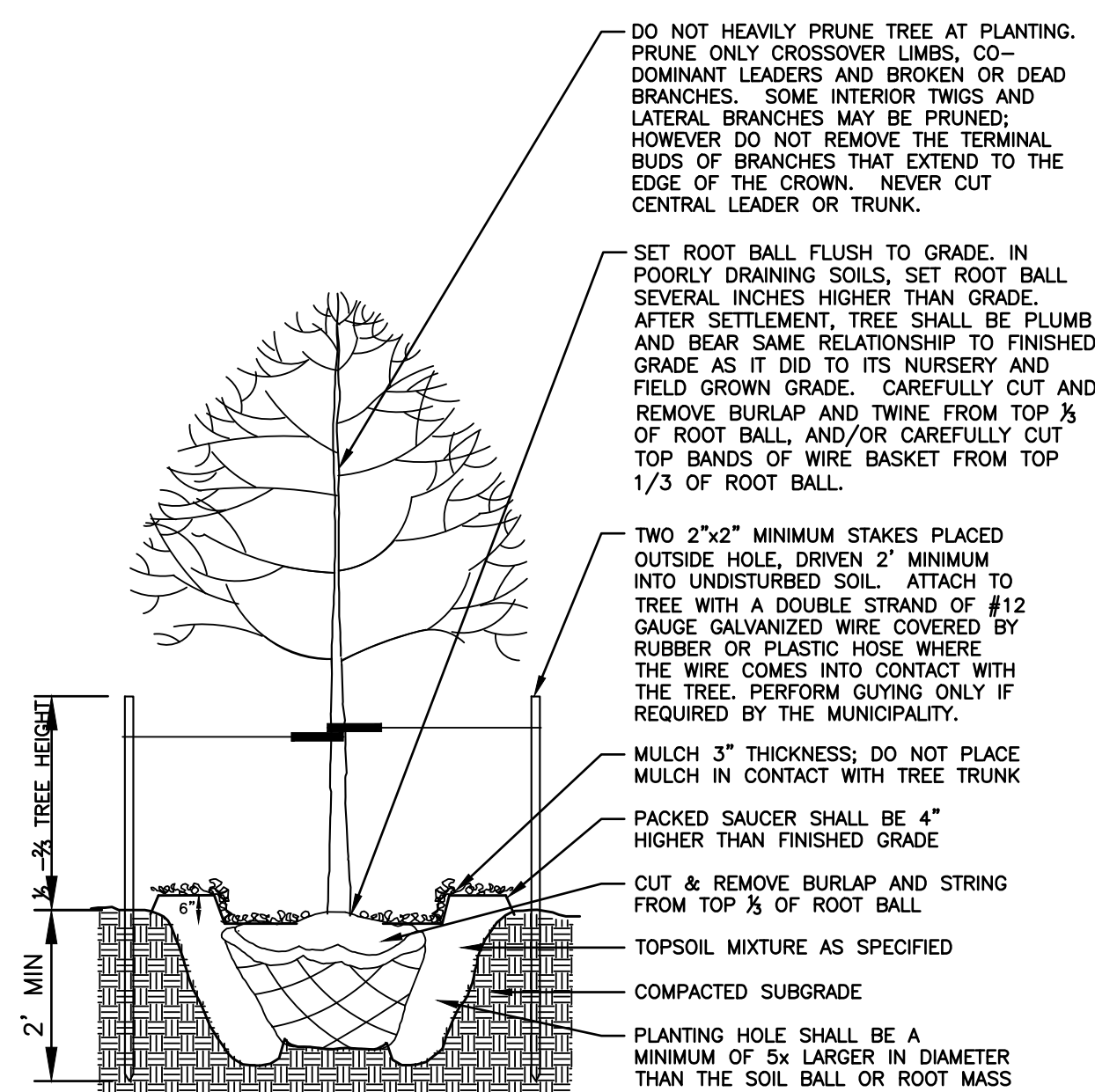
- NOTES:
1. PREPARED SOIL MIX: LOOSEN EXISTING SOIL IN ENTIRE PLANTING BED TO DEPTH SHOWN ON DETAIL. AMEND EXISTING SOIL AS REQUIRED TO PRODUCE A SATISFACTORY TOPSOIL OR SUPPLY WITH IMPORTED TOPSOIL TO RAISE GRADES AND MIX AS SPECIFIED
 2. ALL TREE BEDS SHALL PERCOLATE. NOTIFY ARCHITECT IF SUBSOIL CONDITIONS PREVENT WATER PERCOLATION.
 3. SHRUB SHALL BEAR SAME RELATION TO FINISH GRADE AS IT DID TO ITS NURSERY FIELD GROWN GRADE.
 4. FOR CONTAINER-GROWN SHRUBS, USE FINGER OR SMALL HAND TOOL TO PULL THE ROOTS OUT OF THE OUTER LAYER OF SOIL; THEN CUT OR PULL APART ANY ROOTS THAT CIRCULATE THE PERIMETER OF THE CONTAINER.

SHRUB PLANTING
NTS



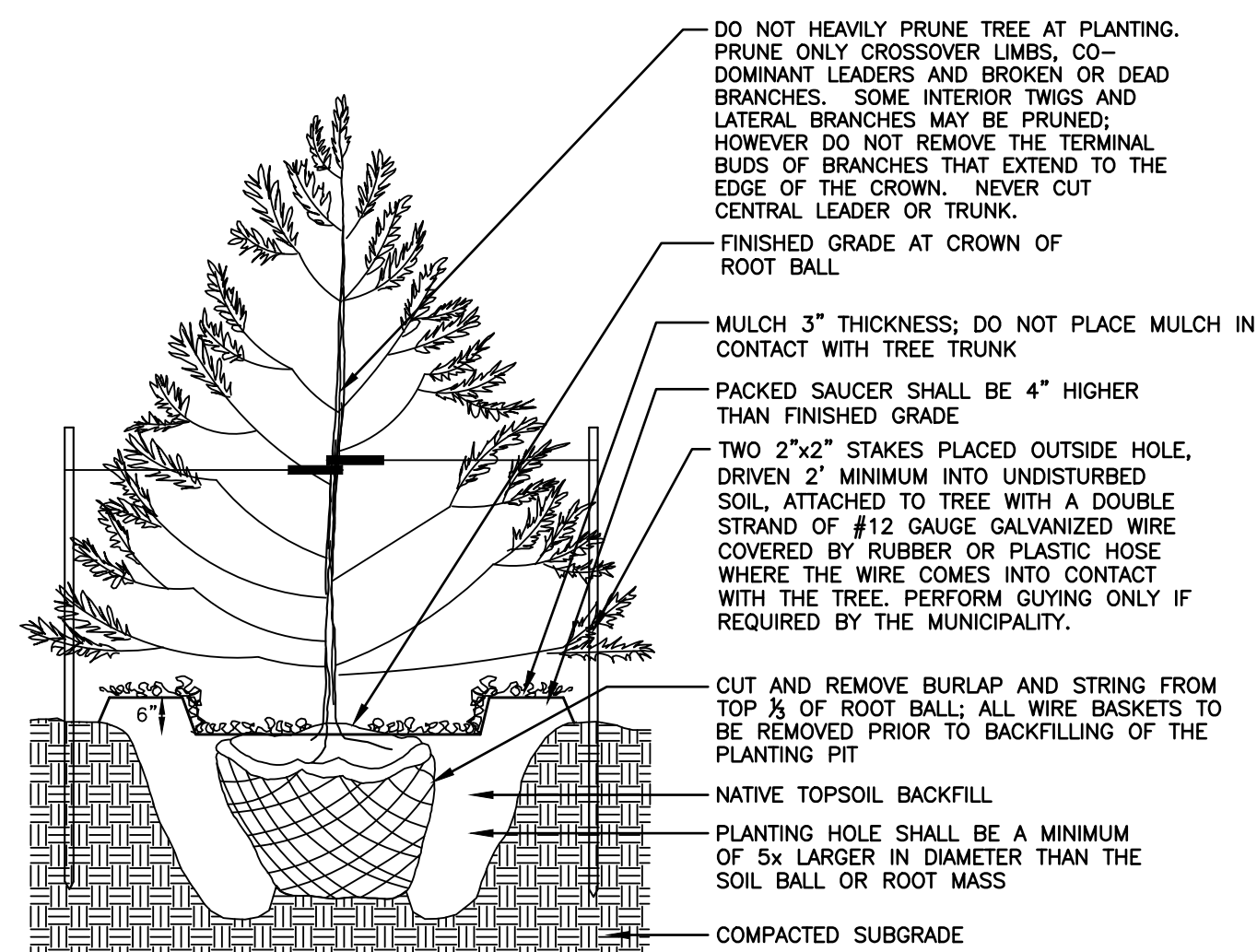
- NOTES:
1. AVOID ROOT DAMAGE.
 2. FENCING SHALL BE INSTALLED AND APPROVED BY THE TOWNSHIP TREE SPECIALIST PRIOR TO ANY CLEARING OR EXCAVATION.
 3. TREE FENCING TO REMAIN UNTIL PROTECTION AUTHORIZED TO BE REMOVED BY THE TOWNSHIP TREE SPECIALIST OR AFTER THE FINAL CERTIFICATE OF OCCUPANCY IS ISSUED.

TREE PROTECTION FENCING
NTS



- NOTE: TREE WRAP SHALL NOT BE INSTALLED ON TREES. TREE WRAP SHALL BE REMOVED FROM TREE BEFORE PLANTING.

TREE PLANTING
NTS



EVERGREEN TREE PLANTING
NTS

LANDSCAPE NOTES

1. GENERAL NOTES

- A. THIS PLAN SHALL BE UTILIZED FOR LANDSCAPE AND TREE SAVE USES ONLY. PLEASE REFER TO SITE PLANS FOR CONSTRUCTION OF SITE IMPROVEMENTS.
- B. ALL TREES ARE DRAWN TO THEIR ANTICIPATED MATURE DRIPLINE.
- C. CONTRACTOR SHALL EXAMINE DRAWINGS AND REQUEST A MARKOUT OF FIELD CONDITIONS FOR SPECIFIC LOCATIONS OF UTILITIES, STRUCTURES, ETC. NOTIFY THE ENGINEER IN WRITING IMMEDIATELY, IN REFERENCE TO DISCREPANCIES OR LOCATION CONFLICTS.
- D. IN THE EVENT THAT PLANT QUANTITY DISCREPANCIES OR MATERIAL OMISSIONS OCCUR IN THE PLANTING SCHEDULE, THE PLAN SHALL SUPERSERVE.
- E. ALL PLANTING MATERIAL AND METHODS SHALL MEET OR EXCEED THE REQUIREMENTS OF THE MUNICIPAL ORDINANCES OF THE TOWNSHIP OF NEPTUNE AND ANS 2-501 (CURRENT VERSION), "THE AMERICAN STANDARD FOR NURSERY STOCK," PUBLISHED BY THE AMERICAN NURSERY AND LANDSCAPE ASSOCIATION. IN CONFLICTS BETWEEN A.N.L.A. AND MUNICIPAL STANDARDS, THE MUNICIPAL REQUIREMENTS SHALL SUPERSEDE.
- F. ALL LANDSCAPING SHALL BE PLANTED SO AS TO NOT INTERFERE WITH UTILITY LINES, SIGHT TRIANGLES, UNDERGROUND UTILITIES, PUBLIC WALKWAYS OR OTHER EXISTING OR PROPOSED STRUCTURES. ALL PLANT MATERIAL PROPOSED WITHIN THE REQUIRED SIGHT DISTANCES OR SIGHT TRIANGLES ARE SELECTED SO AS TO NOT EXCEED A MATURE HEIGHT GREATER THAN 30' ABOVE THE ELEVATION OF THE ADJACENT ROADWAY. STREET TREES AND SHADE TREES PLANTED NEAR PEDESTRIAN OR VEHICULAR ACCESSES, OR WITHIN REQUIRED SIGHT DISTANCES / SIGHT TRIANGLE EASEMENTS SHALL NOT BE BRANCHED ANY LOWER THAN 7' ABOVE GRADE AND MUST BE APPROPRIATELY PRUNED. NO WOODY PLANTS, EXCEPT GROUNDCOVERS, ARE TO HAVE THEIR CENTERS CLOSER THAN 18" TO THE BLOCK OF THE CURB. NO STREET TREES ARE TO BE PLANTED IN SIGHT TRIANGLES IN ACCORDANCE WITH THE TOWNSHIP OF NEPTUNE ORDINANCE.

2. PLANTING

- A. SOIL MUST BE FROST-FREE, FRIABLE AND NOT MUDDY AT THE TIME OF PLANTING.
- B. BACKFILL MATERIAL FOR PLANTING PITS SHALL BE COMPOSED OF 90% TOPSOIL, AND UP TO 10% FULLY COMPOSTED ORGANIC LEAF MULL. TOPSOIL SHALL MEET NJDOT 2007 STANDARD SPECIFICATIONS SECTION 917.01, AND MAY BE FROM ON-SITE OR IMPORTED SOURCES. SOIL SHALL CONTAIN NO ACIDIC MARL, NOR ANY LARGE STONES.
- C. PLANTS SHALL BE SET TO ULTIMATE FINISHED GRADE SO THAT THEY WILL BE LEFT IN THE RELATIONSHIP TO THE SURROUNDING GROUND AS THEY HAD, PRIOR TO BEING DUG. IF EVIDENCE OF SATURATED SOILS IS ENCOUNTERED DURING EXCAVATION OF THE PLANTING PITS, UPON DIRECTION BY THE LANDSCAPE ARCHITECT, PLANTS SHALL BE SET SO THAT THEIR ROOT CROWNS ARE APPROXIMATELY THREE INCHES ABOVE THE FINAL GRADE, WITH TOPSOIL AND MULCH GENTLY MOUND TO AVOID EXCESSIVE DRYING AT THE SURFACE. UNDER NO CIRCUMSTANCES SHALL PLANTINGS AT RELATIVELY DRY LOCATIONS BE PERFORMED IN A MOUND MANNER.
- D. THE CORD BINDING THE BALL OF ALL BALLED AND BURLAPPED (B&B) PLANTS SHALL BE CUT AND REMOVED, AND BURLAP ON THE UPPER 1/3 OF THE ROOT BALL SHALL BE REMOVED. PLANTS WITH SYNTHETIC NON-DEGRADEABLE ROOT BALL WRAPS SHALL NOT BE ACCEPTABLE.
- E. ALL WIRE BASKETS MUST BE REMOVED PRIOR TO PLANTING.
- F. ALL PROPOSED TREES SHALL BE SET IN BEDS MULCHED TO THE LIMIT OF THEIR PLANTING PITS. EXCEPT AS NOTED ALL OTHER TYPES OF PLANTINGS SHALL BE SET IN CONTINUOUS, MASSES PLANTING BEDS, RATHER THAN ISOLATED INDIVIDUALS. ALL TREE AND SHRUB BEDS SHALL RECEIVE A 3" THICK APPLICATION OF A THOROUGHLY COMPOSTED ORGANIC MULCH FREE FROM ANY OBJECTIONABLE OR FOREIGN MATERIALS.
- G. THE MULCH AT THE OUTER PERIMETER OF PLANTING PITS AND BEDS SHALL BE PREPARED SO THAT A 2" HIGH RIM TO RETAIN MOISTURE IS CONSTRUCTED. THE THICKNESS OF THE MULCH SHALL BE FEATHERED WITHIN 3" OF STEMS OR TRUNK, SO THAT NO MULCH IS IN DIRECT PHYSICAL CONTACT WITH THE PLANTS' BRANCHING OR TRUNKS. PLANTING OF GROUNDCOVERS MAY BE SUBSTITUTED FOR MULCH IN PARKING LOT ISLANDS.
- H. TREES SHALL NOT BE GUYED, EXCEPT IF AND WHERE REQUIRED BY THE MUNICIPALITY; WHEREIN TREES GREATER THAN FIVE FEET IN HEIGHT MAY BE STAKED AND GUYED PER THE DETAILS.

3. PLANT MATERIAL

- A. NO PLANT SUBSTITUTION SHALL BE ALLOWED WITH REGARD TO SIZE, SPECIES, NAMED VARIETY OR CULTIVAR, WITHOUT PRIOR PERMISSION FROM THE TOWNSHIP TREE ENGINEER. ALL SUBSTITUTIONS SHALL BE SUBMITTED TO THE TOWNSHIP ENGINEER FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION.
- B. ALL PLANTS SHALL BE DUG, PACKED, TRANSPORTED AND HANDLED WITH THE UTMOST CARE TO ENSURE ADEQUATE PROTECTION FROM INJURY DESICCATION.
- C. ALL PLANTS SHALL BE FREE FROM DISEASE AND INFESTATION, AND ALL LEGALLY REQUIRED AGRICULTURAL CERTIFICATIONS.
- D. ALL PLANTS SHALL BE PRUNED TO ENHANCE VIGOR PRIOR TO, OR UPON INSTALLATION, WHILE RETAINING NATURAL GROWTH HABIT OF THE PLANTS. THE CENTRAL LEADER SHALL NOT BE CUT; PLANTS PROVIDED IN THIS CONDITION SHALL NOT BE ACCEPTED. DAMAGED, BROKEN OR CONFLICTING BRANCHES SHALL BE PRUNED CLEANLY, FLUSH WITH THE MAIN TRUNK OR BRANCH.
- E. ALL PLANTS SHALL BE NURSERY-GROWN AND TAGGED WITH A DURABLE LABEL INDICATING THE GENUS, SPECIES AND SPECIFIED VARIETY OR CULTIVAR.

4. MAINTENANCE

- A. ALL PLANTING SHALL BE WATERED AS NECESSARY FOR SOUND HORTICULTURAL PRACTICE DURING THE FIRST GROWING SEASON, TO ENSURE THEIR PROPER ESTABLISHMENT.
- B. THE DEVELOPER SHALL BE REQUIRED TO REPLACE DEAD OR DYING PLANT MATERIAL FOR A PERIOD OF TWO (2) YEARS FROM THE DATE OF ISSUANCE OF A FINAL ZONING PERMIT FOR OCCUPANCY AND SHALL POST A MAINTENANCE GUARANTEE FOR SUCH PURSUANT TO ARTICLE X OF THE TOWNSHIP OF NEPTUNE LAND DEVELOPMENT ORDINANCE.
- C. IN GENERAL, SHRUBS ARE TO BE PLANTED AT INTERVALS WHICH WILL ALLOW THEM TO FULLY DEVELOP INTO CONTINUOUS MASSES OF THE INDIVIDUAL SPECIES. SHEARING OR SHAPING IS ONLY REQUIRED OR DESIRABLE WHERE DEAD OR CONFLICTING BRANCHING DEVELOPS.
- D. STAKING AND GUYING, IF AND WHERE USED, SHALL BE REMOVED AFTER THE FIRST GROWING SEASON, TO ENSURE UNENCUMBERED GROWTH.
- E. A PERMANENT IRRIGATION SYSTEM SHALL BE INSTALLED TO ENSURE PROPER ESTABLISHMENT AND MAINTENANCE OF ALL PLANTINGS. THE APPLICANT SHOULD ADDRESS THE BOARD REGARDING THEIR PLANS TO PROVIDE IRRIGATION WATER TO THE SITE.

5. MISCELLANEOUS

- A. NO TOPSOIL SHALL BE REMOVED FROM THE SITE OR USED AS SPOIL. TOPSOIL MOVED DURING THE COURSE OF CONSTRUCTION SHALL BE REDISTRIBUTED SO AS TO PROVIDE AT LEAST FOUR (4) INCHES OF SPREAD COVER TO ALL SEEDING AND PLANTING AREAS OF THE SITE AND SHALL BE STABILIZED BY SEEDING OR PLANTING. IN THE EVENT THAT THE QUANTITY OF TOPSOIL AT THE SITE IS INSUFFICIENT TO PROVIDE FOUR (4) INCHES OF COVER FOR ALL SEEDING AND PLANTING AREAS, THE DEVELOPER SHALL PROVIDE SUCH A COVER. TOPSOIL SHALL BE APPROVED BY THE TOWNSHIP ENGINEER.
- B. TOPSOIL SHALL BE PROVIDED ON ALL LAWN AND PLANTING AREAS. TOPSOIL SHALL EITHER BE EXISTING MATERIAL THAT HAS BEEN STRIPPED AND STOCKPILED FOR REUSE OR NEWLY FURNISHED MATERIAL.
- C. STREET AND PARKING LOT TREES SHALL HAVE NO BRANCHES LOWER THAN 7' ABOVE GRADE.
- D. ALL DEAD OR SEVERELY DECLINING PLANTS SHALL BE REPLANTED WITHIN THE NEXT GROWING SEASON DURING PERFORMANCE AND MAINTENANCE BOND PERIODS.
- E. THE TREE PROTECTION FENCING SHALL BE INSTALLED AND APPROVED BY THE TOWNSHIP ENGINEER PRIOR TO ANY CLEARING OR EXCAVATION. TREE FENCING TO REMAIN UNTIL PROTECTION AUTHORIZED TO BE REMOVED BY THE TOWNSHIP ENGINEER OR AFTER THE FINAL CERTIFICATE OF OCCUPANCY IS ISSUED.
- F. THE EXISTING SITE IS AN OPERATING LANDSCAPE NURSERY. THE LANDSCAPE PLAN IS INTENDED TO UTILIZE THE EXISTING NURSERY STOCK WHEREVER POSSIBLE.
- G. THE LANDSCAPING INSTALLED IN THE VICINITY OF THE STRUCTURAL RETAINING WALL IS APPROPRIATE FOR THE LOCATION AND DOES NOT HAVE A ROOT SYSTEM THAT WILL IMPAIR THE INTEGRITY OF THE RETAINING WALL.

OWNERSHIP OF DOCUMENTS

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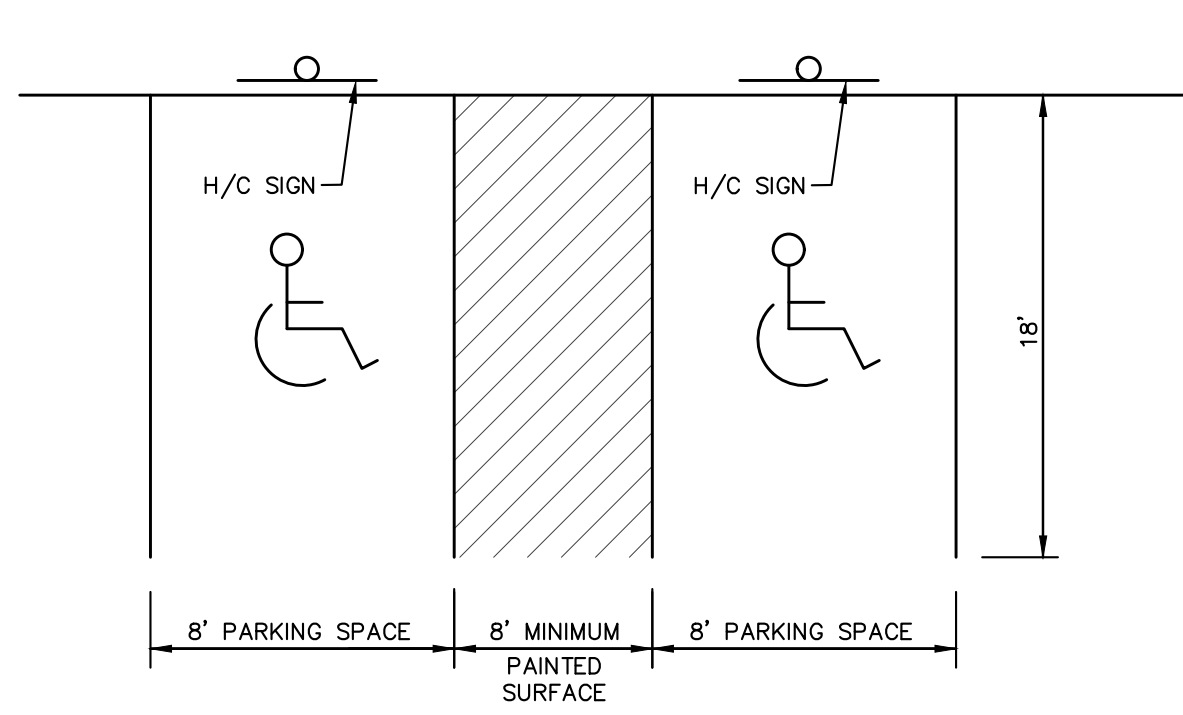
| NO. | DATE | DESCRIPTION | BY |
|-----|---------|---|-----|
| 3 | 11/8/21 | REVISED PER NEPTUNE ZONING BOARD OF ADJUSTMENT ENGINEER | SDC |
| 2 | 8/23/21 | ADDED LOT & BLOCK NUMBERS | SDC |
| 1 | 8/3/21 | REVISED PER NJAHC | SDC |
| | | | |

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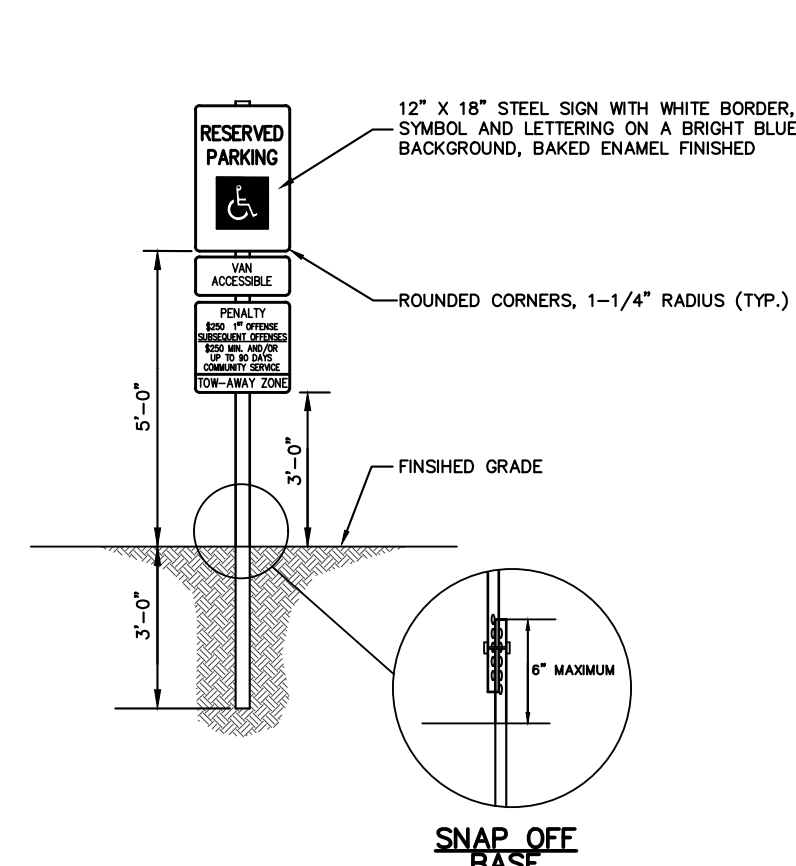
PRELIMINARY & FINAL MAJOR SUBDIVISION
LANDSCAPING DETAILS
VICTORIA GARDENS
BLOCK 4001 - LOTS 1, 2 & 3
TOWNSHIP OF NEPTUNE
MONMOUTH COUNTY NEW JERSEY

| | | | |
|--------------|--------------|-------------|-------|
| SCALE: | DATE: | JOB NUMBER: | SHEET |
| NOT TO SCALE | MAY 25, 2021 | 321644 | 19 |
| DRAWN BY: | DESIGNED BY: | CHECKED BY: | |
| SDC | IMB | WAS | 34 |

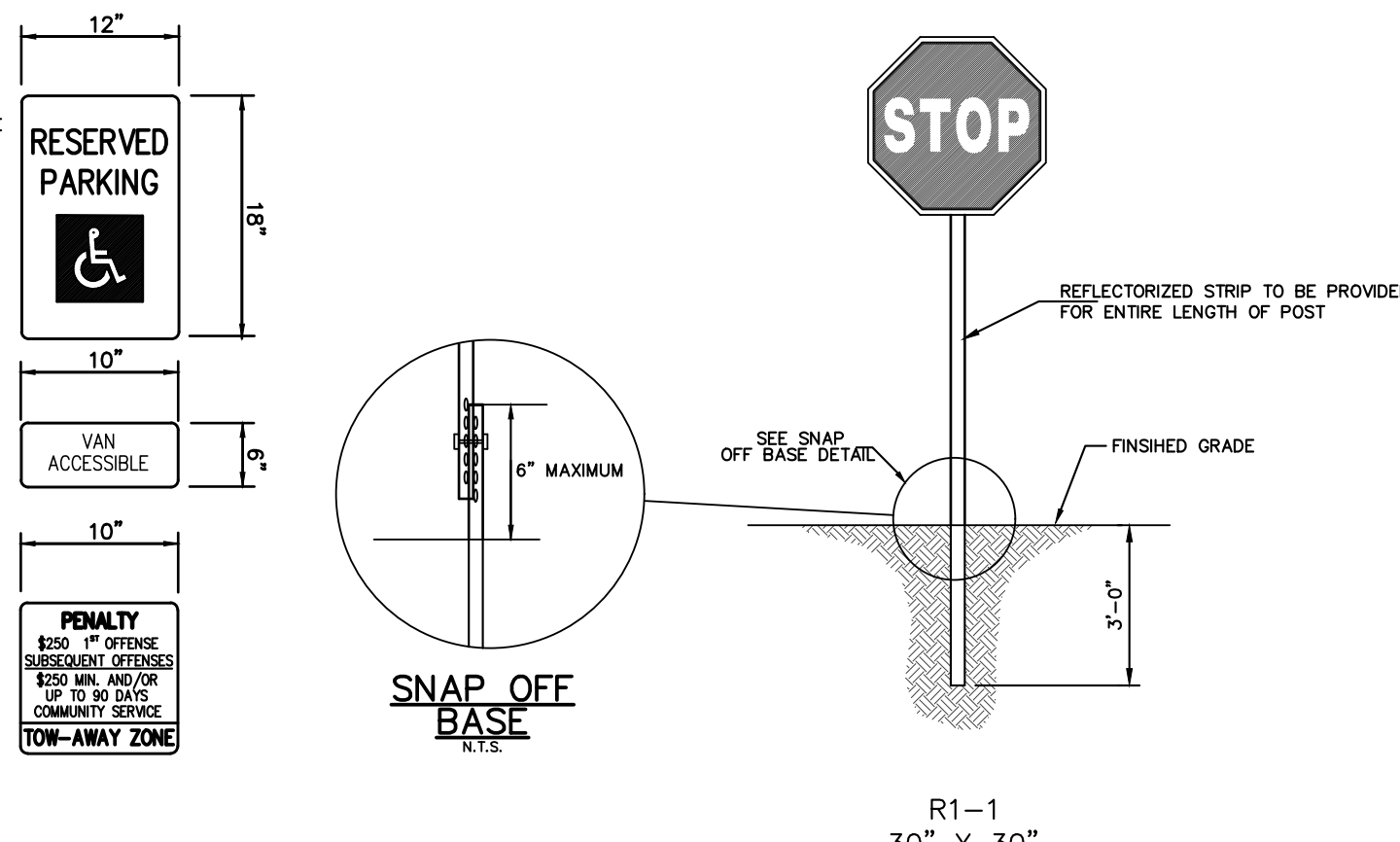


NOTE:
ALL HANDICAP SYMBOLS AND PARKING SPACE DIVIDERS SHALL BE PAINTED USING FOUR (4) INCH BLUE STRIPING.

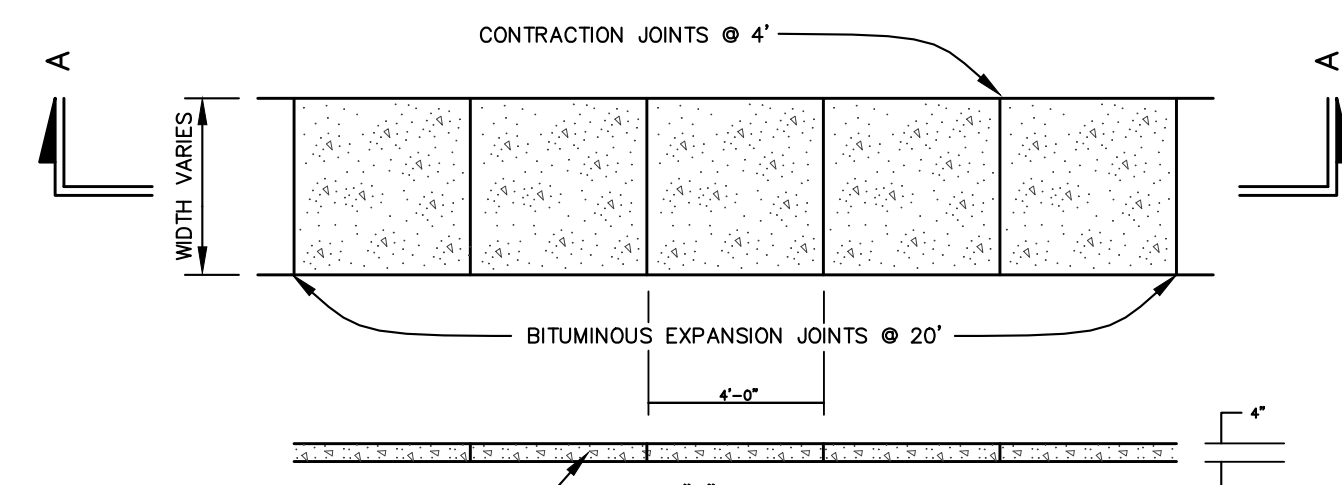
HANDICAP PARKING SPACE
N.T.S.



HANDICAPPED PARKING SPACE SIGN DETAIL
N.T.S.



STOP SIGN DETAILS
N.T.S.



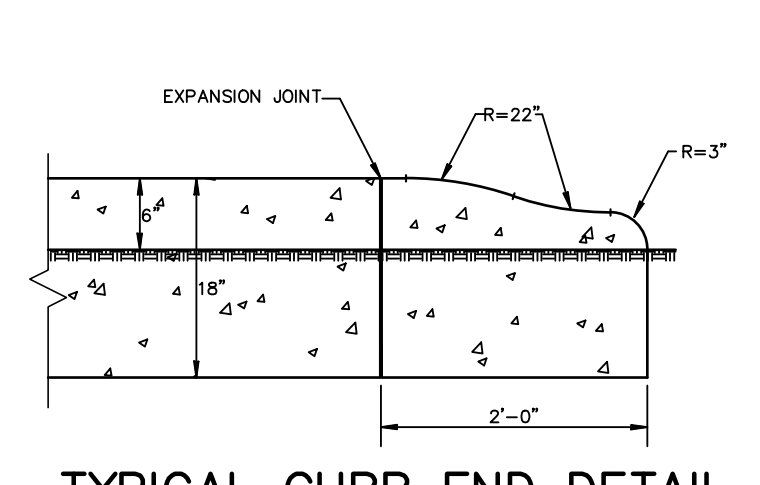
SIDEWALK NOTES:
1. A PREFORMED, BITUMINOUS EXPANSION JOINT 1/2" THICK, 4" WIDE AND EXTENDING THE FULL WIDTH OF THE WALK, UNBROKEN, SHALL BE INSTALLED EVERY 20 FEET. CONTRACTION JOINTS SHALL BE INSTALLED EVERY 4 FEET THE FULL WALK WIDTH.
2. THERE SHALL BE A BROOM FINISH WITH THE EDGES FINISHED WITH A SUITABLE TOOL.
3. SIDEWALKS OF CONCRETE SHALL BE FOUR INCHES THICK EXCEPT AT POINTS OF VEHICULAR CROSSING WHERE THEY SHALL BE AT LEAST SIX INCHES THICK. AT VEHICULAR CROSSINGS, CONCRETE SIDEWALKS SHALL BE REINFORCED WITH WELDED WIRE FABRIC MESH OR AN EQUIVALENT.

CLASS "B" AIR-ENTRAINED CONCRETE HAVING A 28-DAY VERIFICATION STRENGTH OF 4,500 PSI (6" DRIVEWAY)

SECTION "A-A"

SIDEWALK DETAIL

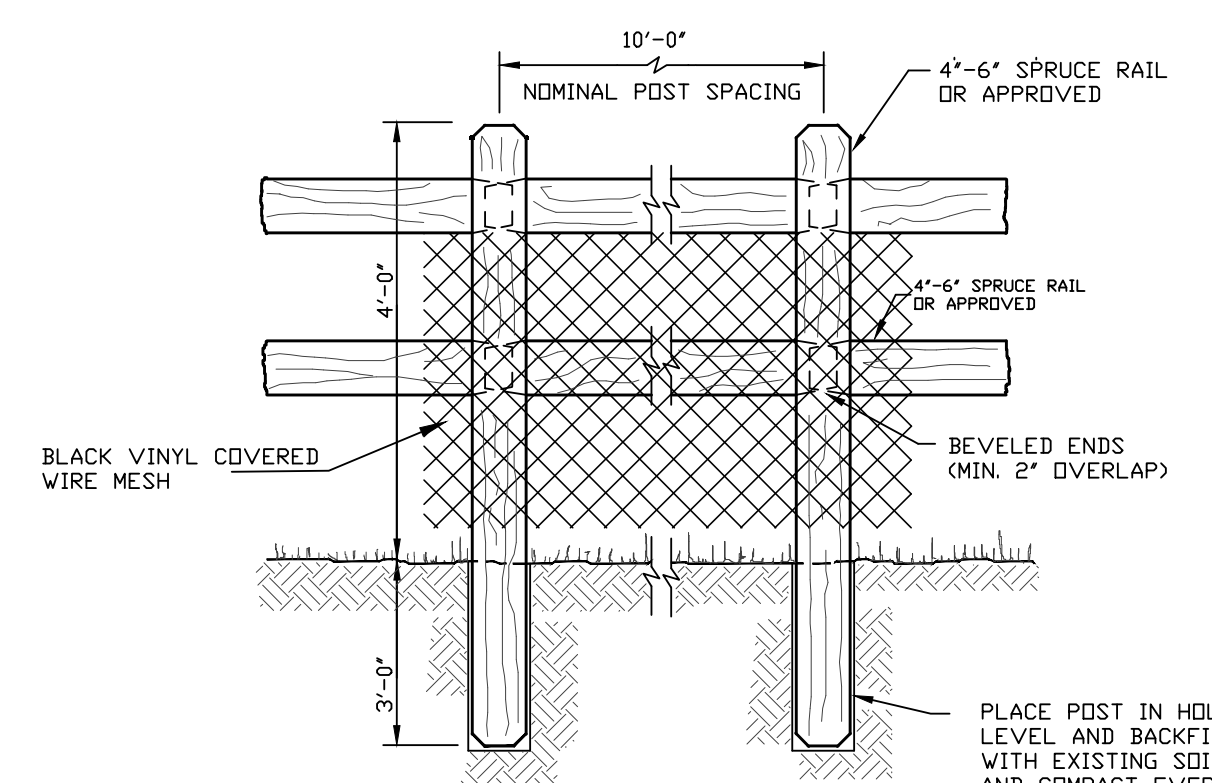
NOTES:
1. CONCRETE TO BE 4,500 P.S.I. @ 28 DAYS
2. PROVIDED PREFORMED BITUMINOUS FIBER EXPANSION JOINTS, 1/2" THICK AT 20'-0" (MAX.) INTERVALS. PROVIDE DUMMY JOINTS (FORMED) MIDWAY BETWEEN EXPANSION JOINTS



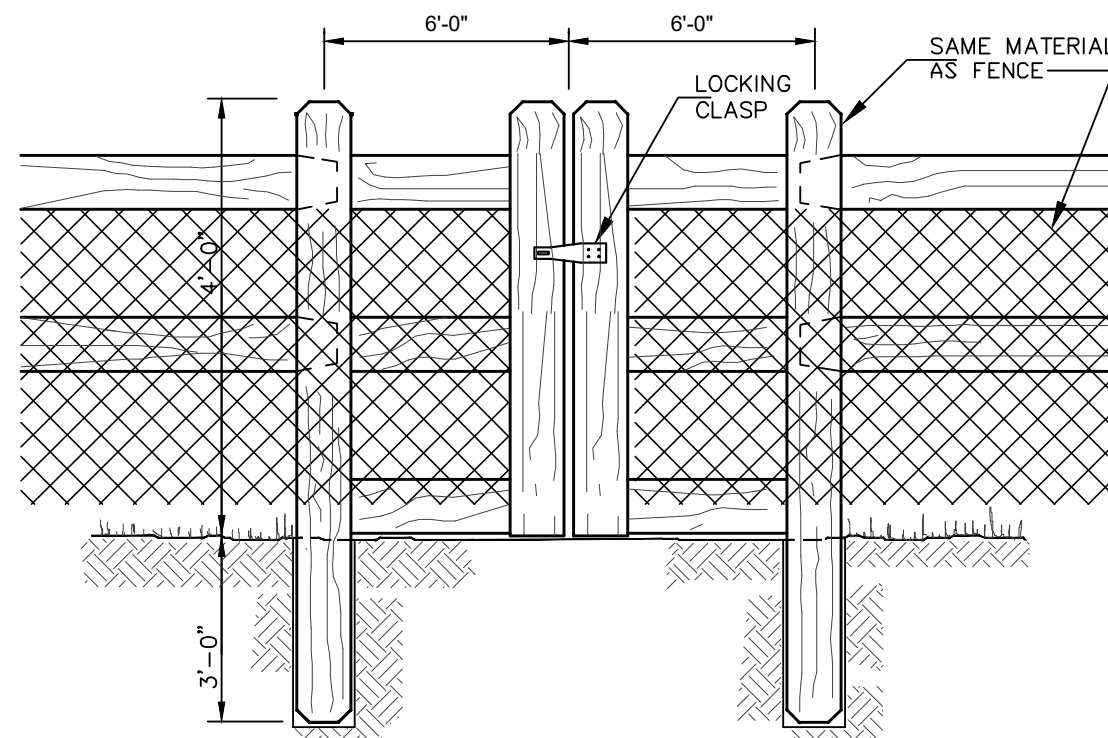
TYPICAL CURB END DETAIL
N.T.S.

- NOTES:**
1. GEGRID REINFORCING SHALL BE INSTALLED WHERE EXPOSED WALL HEIGHT EXCEEDS 4 FEET. GEGRID SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S REQUIREMENTS.
 2. THE FINAL DESIGN OF THE WALL MUST BE PROVIDED PRIOR TO OBTAINING ANY CONSTRUCTION PERMITS.
 3. STRUCTURAL CALCULATIONS TO BE SUBMITTED FOR REVIEW AND APPROVAL.

8'-0"



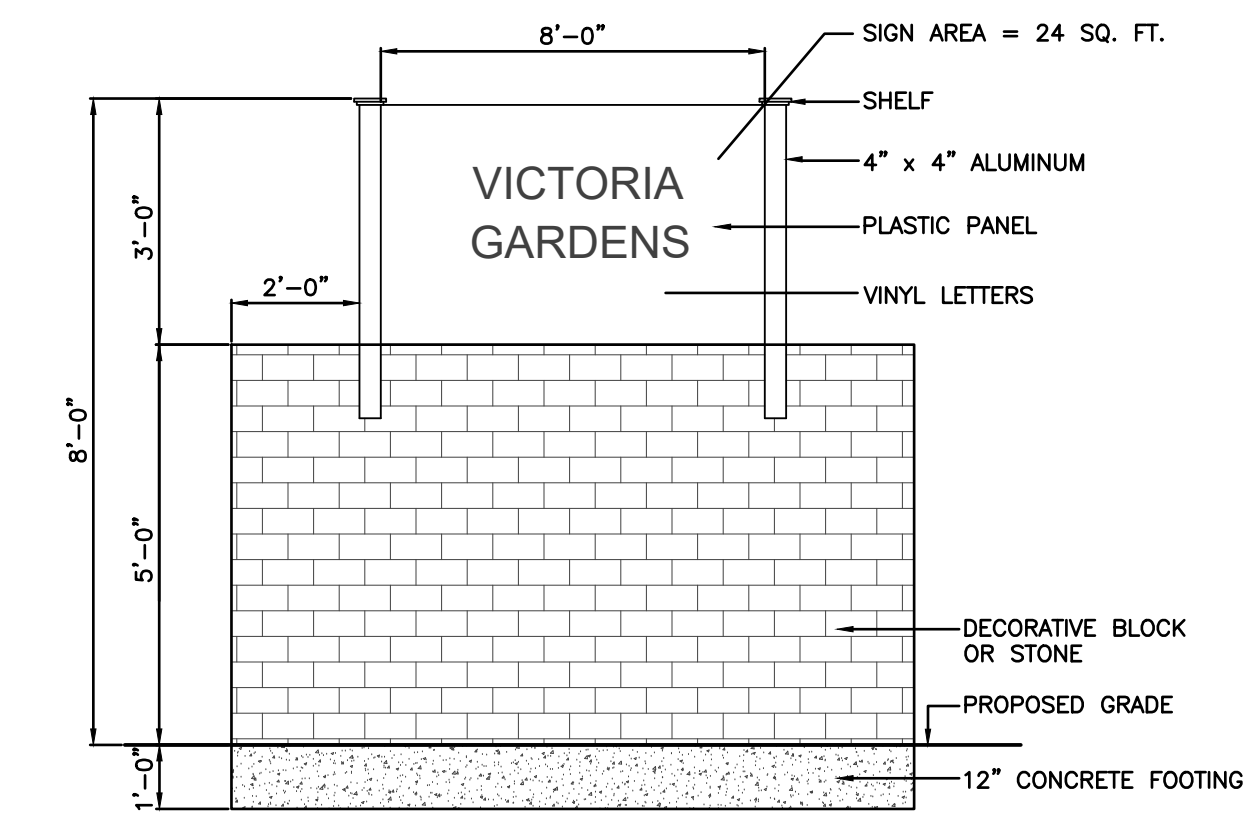
POST & RAIL FENCE



POST & RAIL GATE

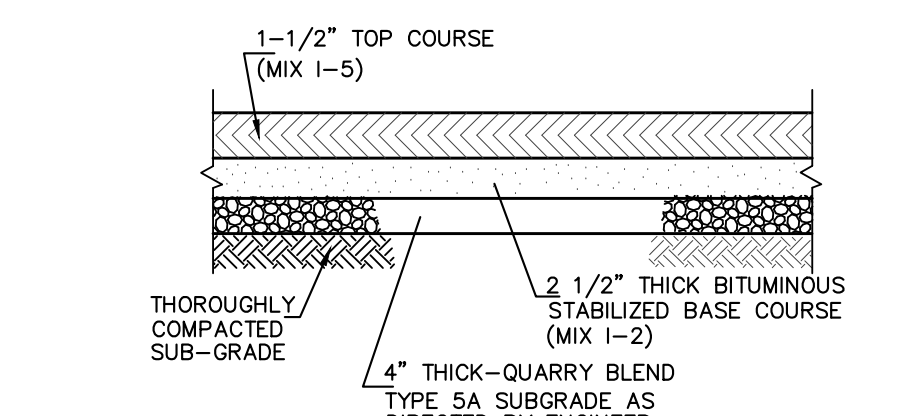
POST & RAIL FENCE

N.T.S.

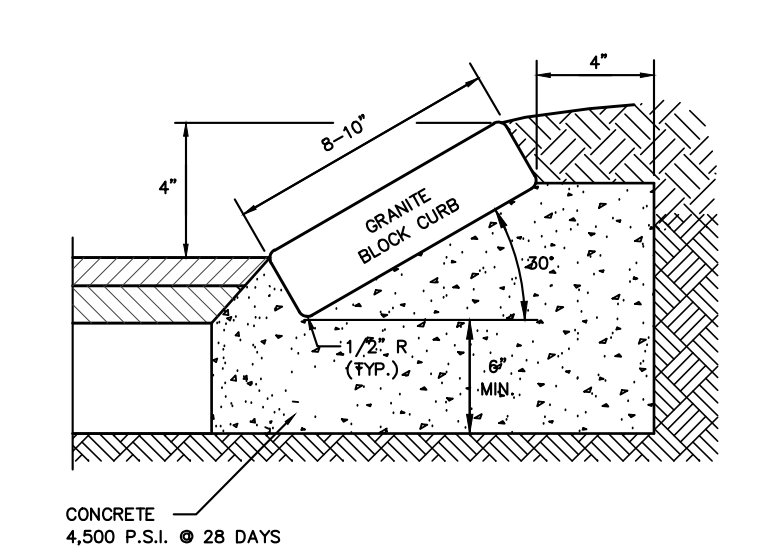


SITE IDENTIFICATION SIGN DETAIL

- SIGNS - SECTION 416**
1. EACH BUILDING WILL CONTAIN A RESIDENTIAL DIRECTORY NAMEPLATE SIGN INDICATING THE UNIT ADDRESS WHICH SHALL NOT EXCEED FIVE (5) INCHES.
 2. EACH BUILDING WILL CONTAIN TWO (2) WALL SIGNS IDENTIFYING THE NAME OR NUMBER OF THE MULTI-FAMILY STRUCTURE WITH A SIZE NOT TO EXCEED TWO (2) SQUARE FEET PER SIGN.
 3. A TYPE A FREE STANDING SIGN IS PROPOSED ALONG WAYSIDE ROAD TO SERVE AS A PROJECT IDENTIFICATION SIGN. MINIMUM TEN (10) FEET.

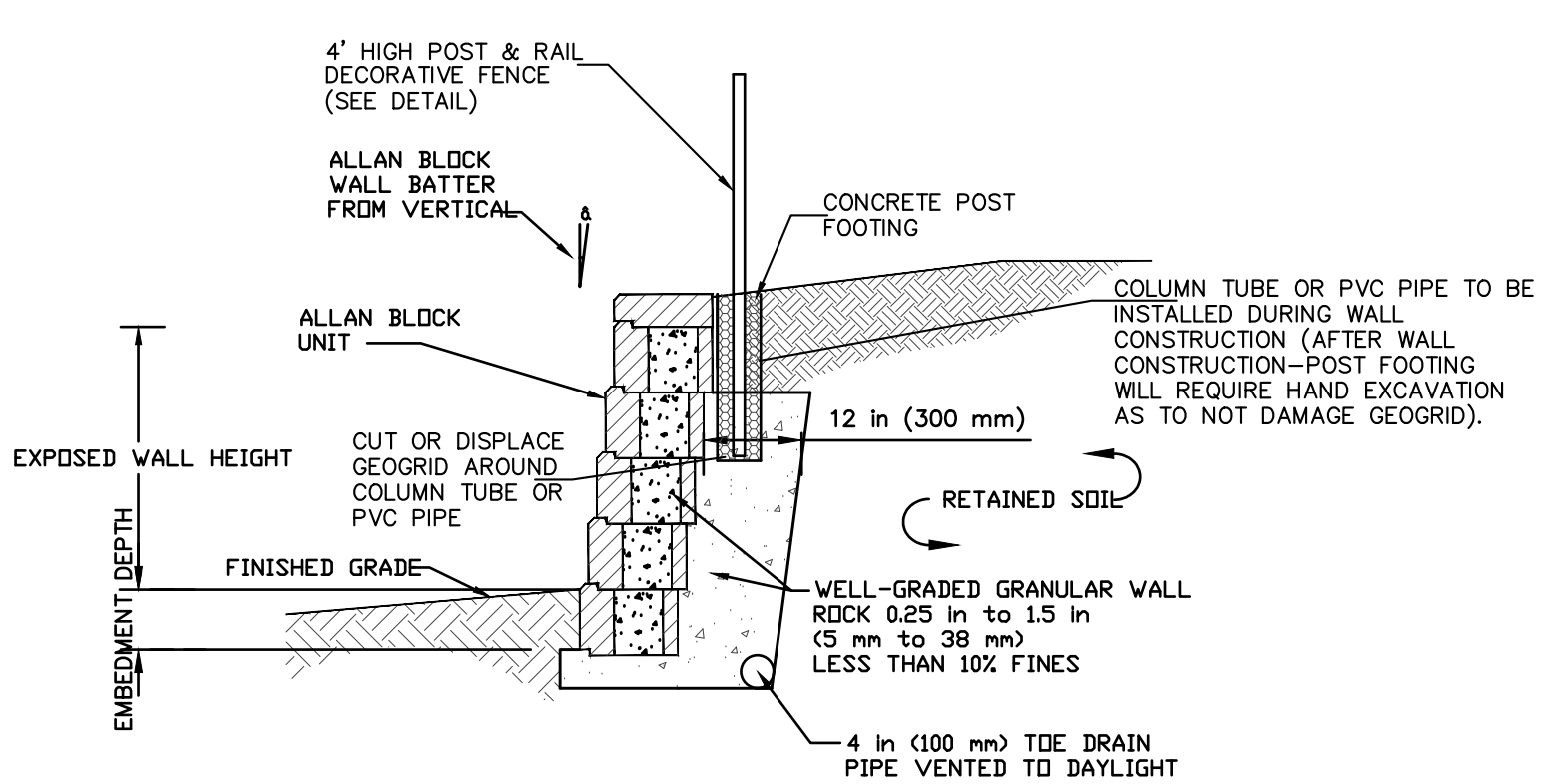


TYPICAL PAVEMENT SECTION (PARKING SPACES & DRIVE AISLES)



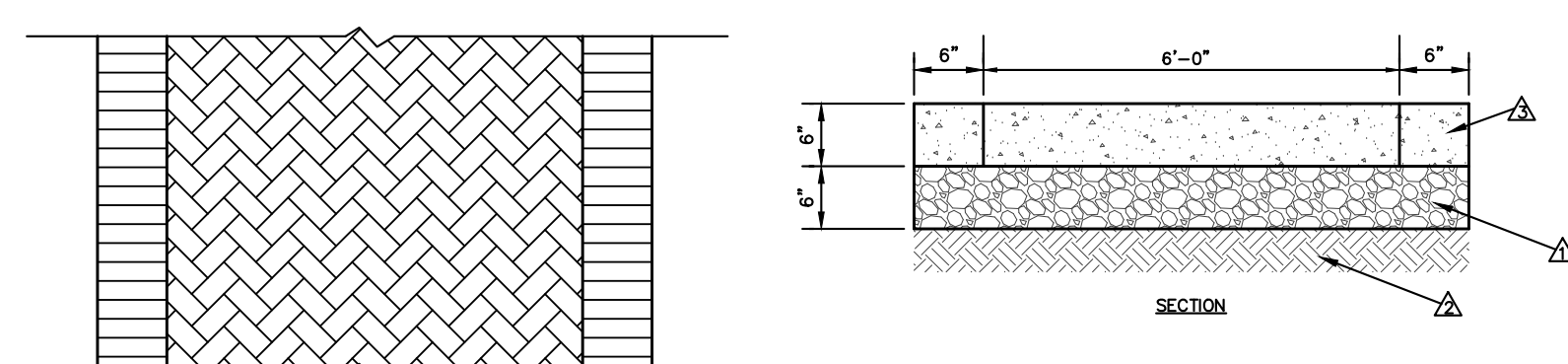
SLOPING GRANITE BLOCK CURB DETAIL

- NOTE:**
1. EXPANSION JOINTS SHALL BE PROVIDED AT 20' INTERVALS WITH CONSTRUCTION JOINTS BEING PROVIDED AT 10' INTERVALS.
 2. TAPER CURB 10' EITHER SIDE OF STORM DRAINAGE INLETS TO MATCH GRATE & CURB PIECE.



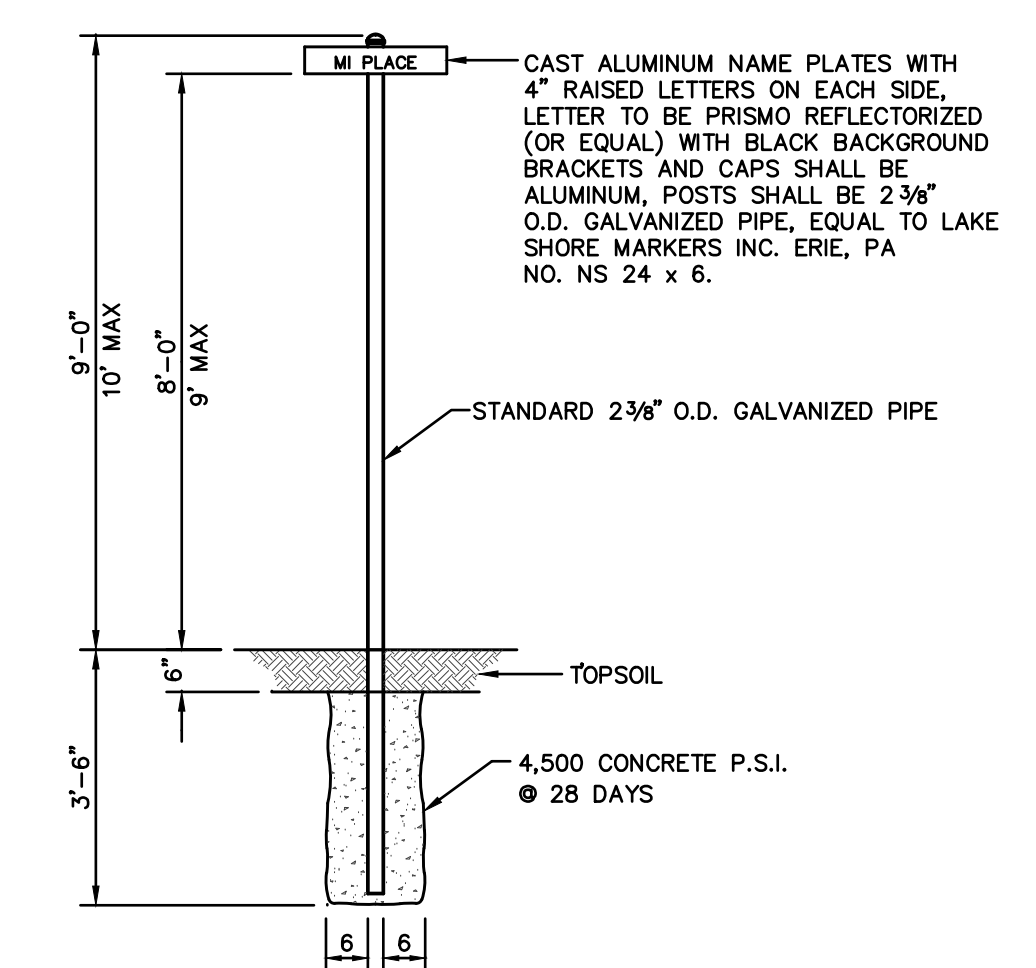
LANDSCAPE ALLAN BLOCK RETAINING WALL TYPICAL SECTION

N.T.S.



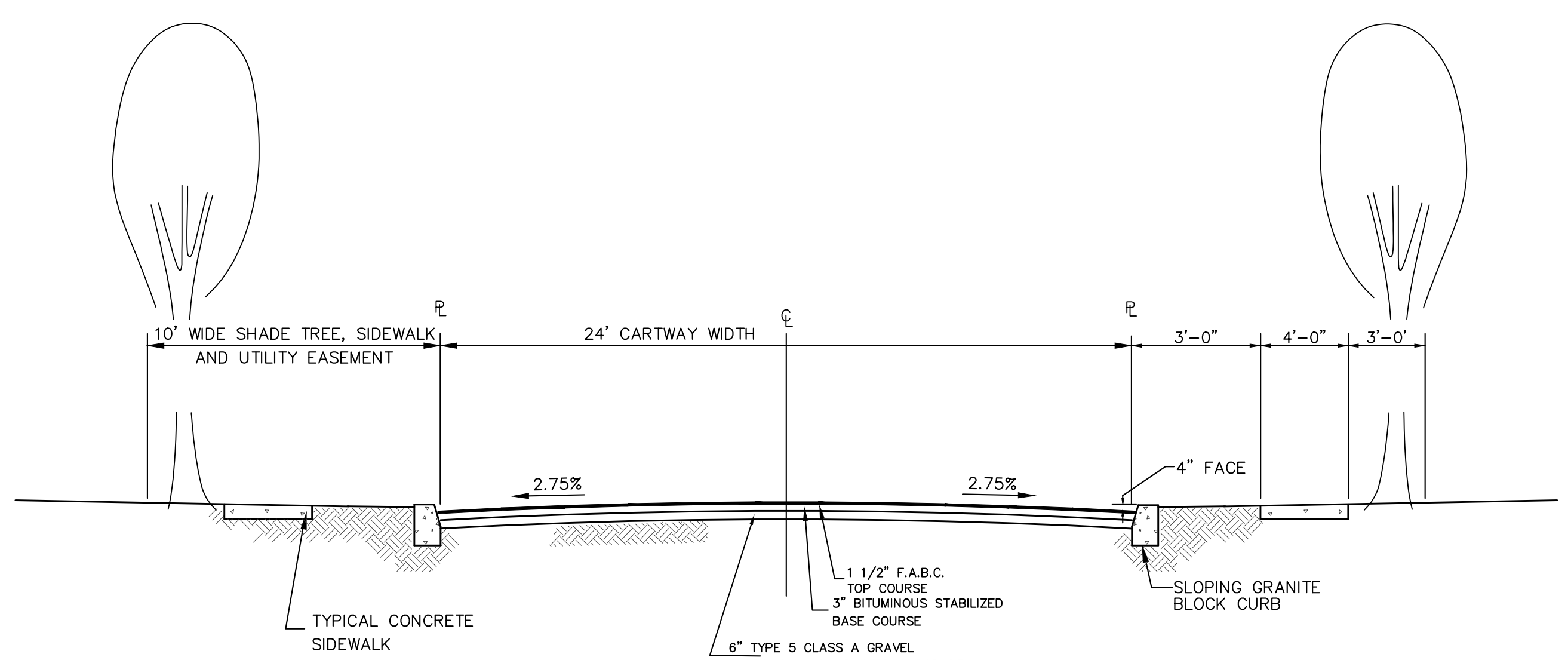
CROSSWALK STAMPED CONCRETE
(SEE SITE LAYOUT PLAN FOR LOCATION)

- NOTES:**
- ▲ 6" THK. TYPE 2 CL. B AGGREGATE BASE COMPACTED TO 95% DRY DENSITY.
 - ▲ SUBGRADE PREPARED AND COMPACTED TO 90% MIN. COMPACTION.
 - ▲ STAMPED P.C. CONC. 4000 P.S.I. DOUBLE SOLDER COURSE, COLORED DARK RED.



TYPICAL STREET SIGN DETAIL

Street name signs. Street name signs shall be placed at all street intersections within or abutting the development. Street signs shall identify all cross streets at all intersections. The type, style and location of such signs shall be as approved by the Township Engineer.



TYPICAL ROAD SECTION

N.T.S.

OWNERSHIP OF DOCUMENTS

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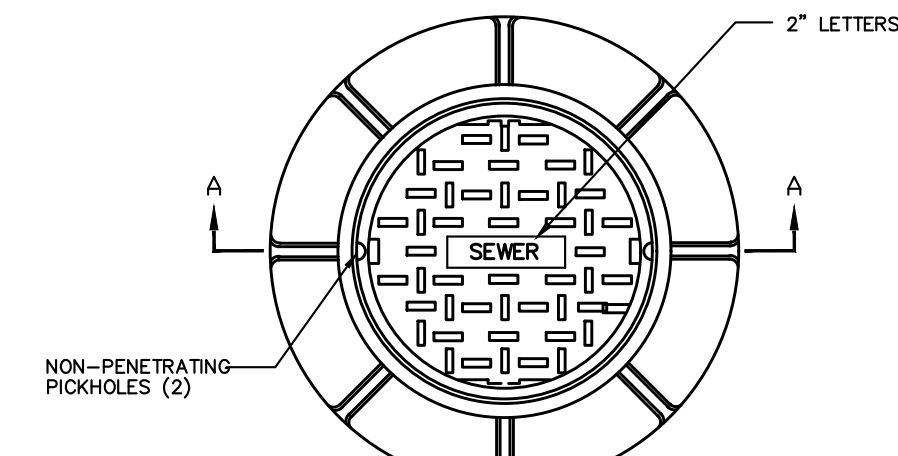
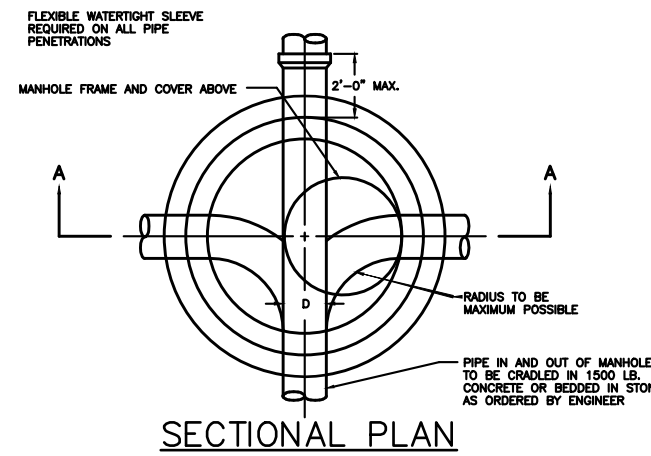
| NO. | DATE | REVISION | DESCRIPTION | BY |
|-----|---------|---|-------------|----|
| 3 | 11/8/21 | REVISED PER NEPTUNE ZONING BOARD OF ADJUSTMENT ENGINEER | SDC | |
| 2 | 8/23/21 | ADDED LOT & BLOCK NUMBERS | SDC | |
| 1 | 8/3/21 | REVISED PER NJA/C | SDC | |

PDS
PROFESSIONAL DESIGN SERVICES, L.L.C.
CONSULTING ENGINEERS, LAND SURVEYORS, PLANNERS,
ENVIRONMENTAL SCIENTISTS, CONSTRUCTION SERVICES
1245 AIRPORT ROAD, SUITE 1, LAKEWOOD, NEW JERSEY 08701
PHONE: 732-363-0800 FAX: 732-363-0873
ENGINEERING@PDS-NJ.COM WWW.PDS-NJ.COM
NEW JERSEY STATE BOARD OF P.E. & L.S.
CERTIFICATE OF AUTHORIZATION NO. 24G28125400

WILLIAM A. STEVENS, P.E., P.P.
PROFESSIONAL ENGINEER, NEW JERSEY LIC. #39115
PROFESSIONAL PLANNER, NEW JERSEY LIC. #3794

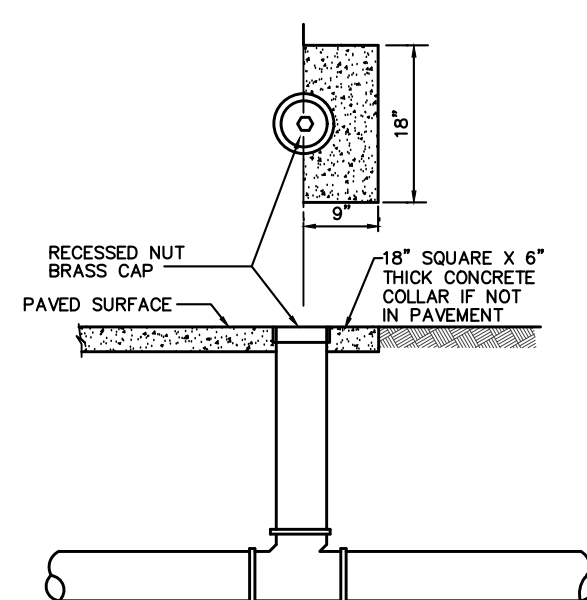
PRELIMINARY & FINAL MAJOR SUBDIVISION
CONSTRUCTION DETAILS
VICTORIA GARDENS
BLOCK 4001 - LOTS 1, 2 & 3
TOWNSHIP OF NEPTUNE
MONMOUTH COUNTY NEW JERSEY

| | | | | | | | |
|-----------|--------------|--------------|--------------|-------------|--------|-------|----|
| SCALE: | NOT TO SCALE | DATE: | MAY 25, 2021 | JOB NUMBER: | 321644 | SHEET | 20 |
| DRAWN BY: | SDC | DESIGNED BY: | IMB | CHECKED BY: | WAS | | 34 |

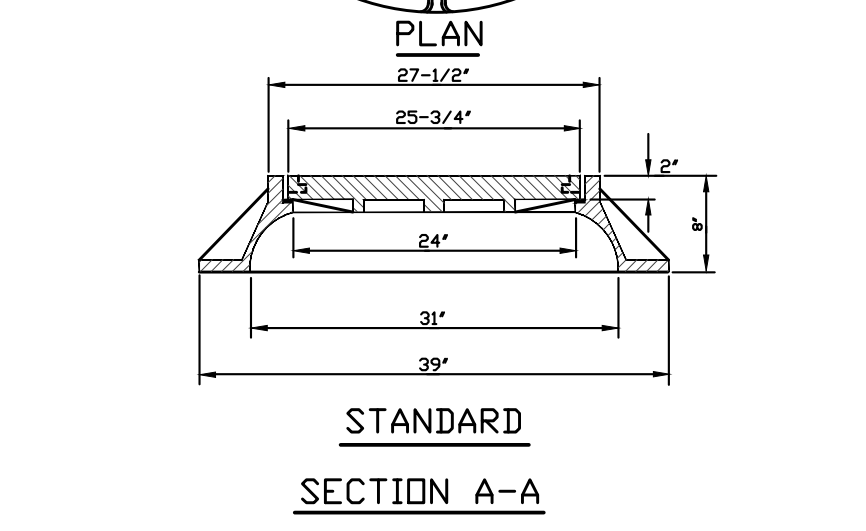
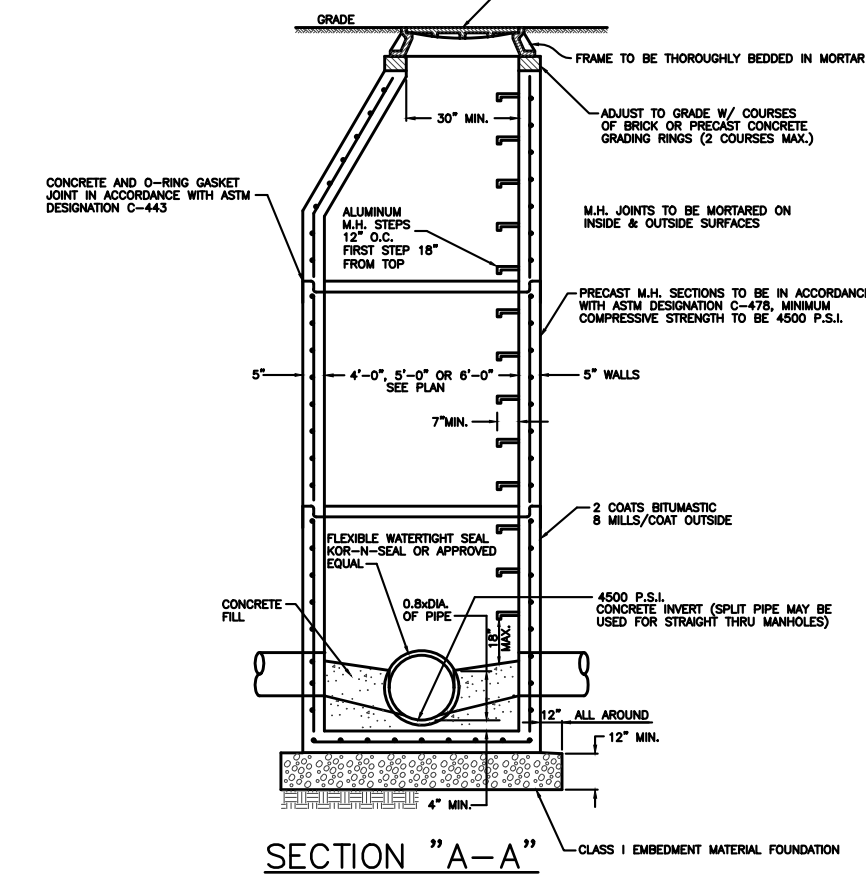


| COLUMNS | TABLE OF TRENCH WIDTHS | | | | |
|-----------|------------------------|-------------------------|----------------|-----------------|---|
| | 1 | 2 | 3 | 4 | 5 |
| PIPE DIA. | SPEC. WIDTH | STONE OR GRAVEL BEDDING | | CONCRETE CRADLE | |
| | | TO 1/4 POINT | TO 1/2 POINT | | |
| 6-8" | 2'-6" | 3'-0" | 3'-0" TO 4'-0" | OVER 4'-0" | |
| 10-12" | 3'-0" | 3'-6" | 3'-6" TO 5'-0" | OVER 5'-0" | |
| 16-24" | 3'-6" | 4'-0" | 4'-0" TO 5'-6" | OVER 5'-6" | |

- NOTES:
- ALL TRENCHES & EXCAVATIONS TO BE GIVEN THE STEEPEST SIDE SLOPE POSSIBLE.
 - IF THE WIDTH OF THE TRENCH AT OR BELOW THE OUTSIDE TOP OF THE PIPE EXCEEDS THE TRENCH WIDTH IN COLUMN 2, THE SPACE BETWEEN THE PIPE AND THE SIDE OF THE TRENCH OR SHEETING SHALL BE BACKFILLED WITH CLEAN WELL GRADED SAND OR SELECT MATERIAL 1-2 BEDDING TO THE 1/4 POINT OF THE PIPE. IF THE TRENCH WIDTH EXCEEDS THE WIDTH IN COLUMN 3, THE CLEAN WELL GRADED SAND OR SELECT MATERIAL 1-2 SHALL BE BROUGHT UP TO THE 1/2 POINT OF THE PIPE. IF THE TRENCH WIDTH EXCEEDS THE WIDTH IN COLUMN 4, THE CONTRACTOR SHALL PROVIDE A CLASS 'B' CONCRETE CRADLE INSTEAD OF CLEAN WELL GRADED SAND OR SELECT MATERIAL 1-2 BEDDING TO THE 1/2 POINT OF THE PIPE, 20" DIAMETER OR SMALLER.
 - COMPACTED BACKFILL SHALL BE AS A MINIMUM 90% OF THE MAXIMUM DRY DENSITY OF SOIL AS DETERMINED BY A.S.T.M. D-1557. (MODIFIED PROCTOR DENSITY.)
 - COMPACTION OF THE TOP 2 FEET OF THE TRENCH (SURFACE ZONE) UNDER AREAS TO BE PAVED SHALL ACHIEVE AS A MINIMUM 95% OF MAXIMUM DRY DENSITY AS DETERMINED BY A.S.T.M. D-1557.
 - SUITABLE BACKFILL MATERIAL SHALL BE SELECT MATERIAL 1-2 (N.J.D.O.T.) WHEN ON SITE SUITABLE MATERIAL IS NOT AVAILABLE.
 - CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE O.S.H.A., OTHER GOVERNMENTAL AGENCIES AND/OR REGULATIONS HAVING JURISDICTION OVER TRENCH DEPTHS AND SIDE SLOPES.



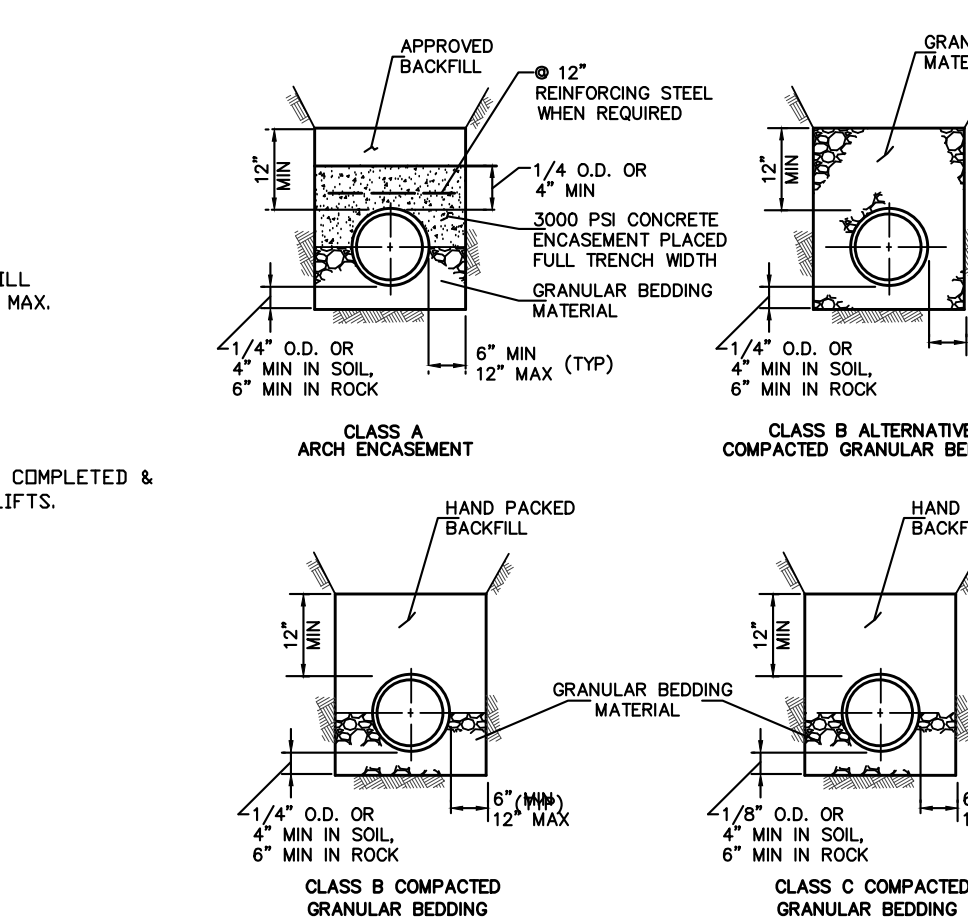
- NOTES:
- AT LEAST ONE CLEANOUT MUST BE PROVIDED ON EACH LAYOUT.
 - A CLEANOUT WILL BE PROVIDED FOR EACH LATERAL BETWEEN THE CURB AND THE SIDEWALK.
 - IN GENERAL, OWNERSHIP AND MAINTENANCE OF LATERALS AND CLEANOUTS WILL BE THE RESPONSIBILITY OF THE PROPERTY OWNER.
 - THE LOCATION OF ALL CLEANOUTS MUST BE APPROVED BY THE TOWNSHIP PLUMBING DEPT.
 - ALL CLEANOUTS MUST BE PROTECTED WITH COB BOXES.
- STANDARD CLEANOUT**
N.T.S.



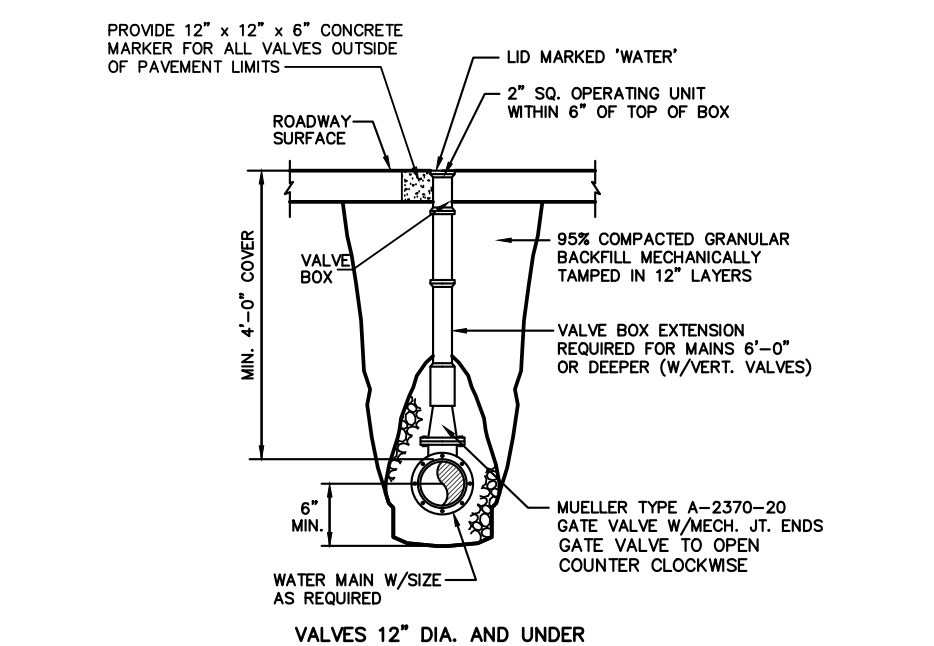
- NOTES:
- STANDARD MANHOLE FRAME AND COVER SHALL BE PATTERN N012028 AS MANUFACTURED BY THE CAMPBELL FOUNDRY CO. OR APPROVED EQUAL.
 - MANHOLE FRAME AND COVER TO BE HEAVY DUTY, CONFORMING TO A.S.T.M. SPECIFICATION A-48 CLASS 30-B WITH SHOP COAT OF ASPHALTIC PITCH.

STANDARD SANITARY MANHOLE FRAME & COVER
N.T.S.

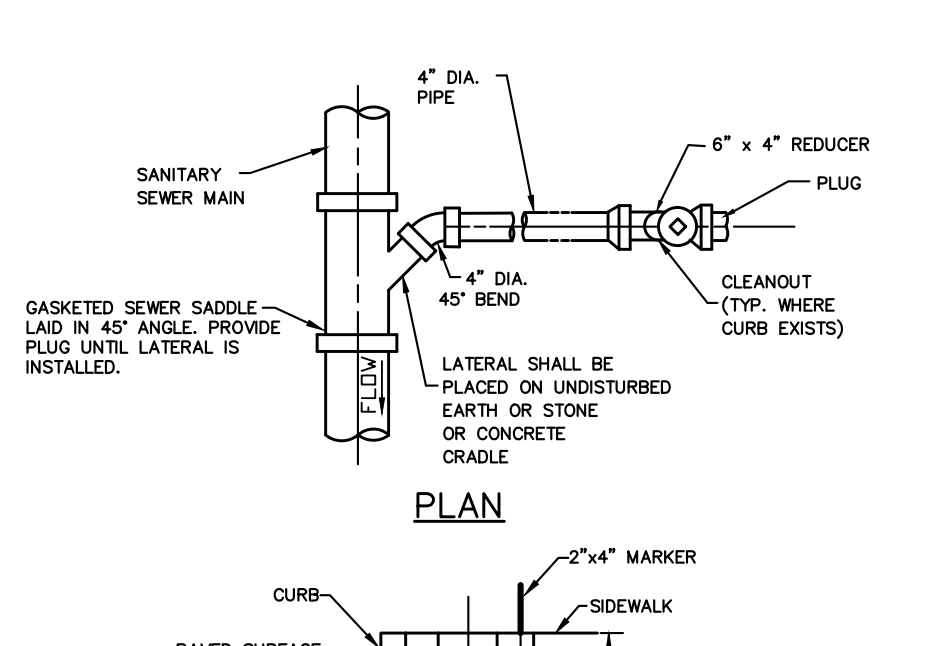
TYPICAL TRENCH DETAILS
N.T.S.



BEDDING DETAIL
N.T.S.



UNDERGROUND GATE VALVE DETAILS
N.T.S.



SECTION - CLEANOUT
N.T.S.

PRECAST STANDARD MANHOLE DETAIL
N.T.S.

MANHOLE NOTES

- PRECAST CONCRETE MANHOLE (ASTM C-478)**
- WHERE TYPE 'B' AND 'C' BASES ARE USED A TAPER SECTION CONNECTING BASE SECTION AND RISER SHALL BE REQ'D AND SHALL HAVE A THICKNESS AS SHOWN. THE BASE SECTION AND RISER ALLOW FOR AT LEAST 6 FOOT MINIMUM VERTICAL CLEARANCE WHERE POSSIBLE.
 - BASES TO BE TYPE 'A' FOR SEWERS UNDER 24" DIA., TYPE 'B' FOR SEWERS 24" TO 36" DIA., AND TYPE 'C' FOR SEWERS 36" TO 48" DIA.

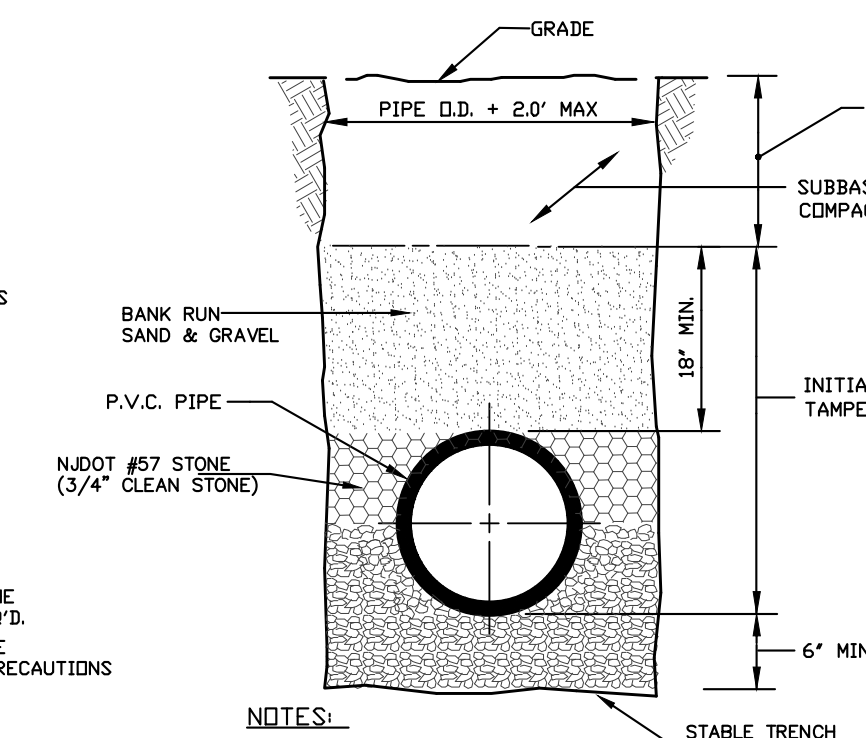
- MANHOLE STEPS**
- ALUMINUM MANHOLE STEPS SHALL BE ALDGA 12653, ALLDY 6061-T6 DROP FRONT DESIGN, OR APPROVED EQUAL.
 - THE PORTION TO BE IMBEDDED IN THE MANHOLE SHALL BE COATED WITH COAL TAR PITCH OR OTHER APPROVED MATERIAL AND SHALL BE IN ACCORDANCE WITH THE LATEST O.S.H.A. STANDARD.

WORK AT EXISTING MANHOLES

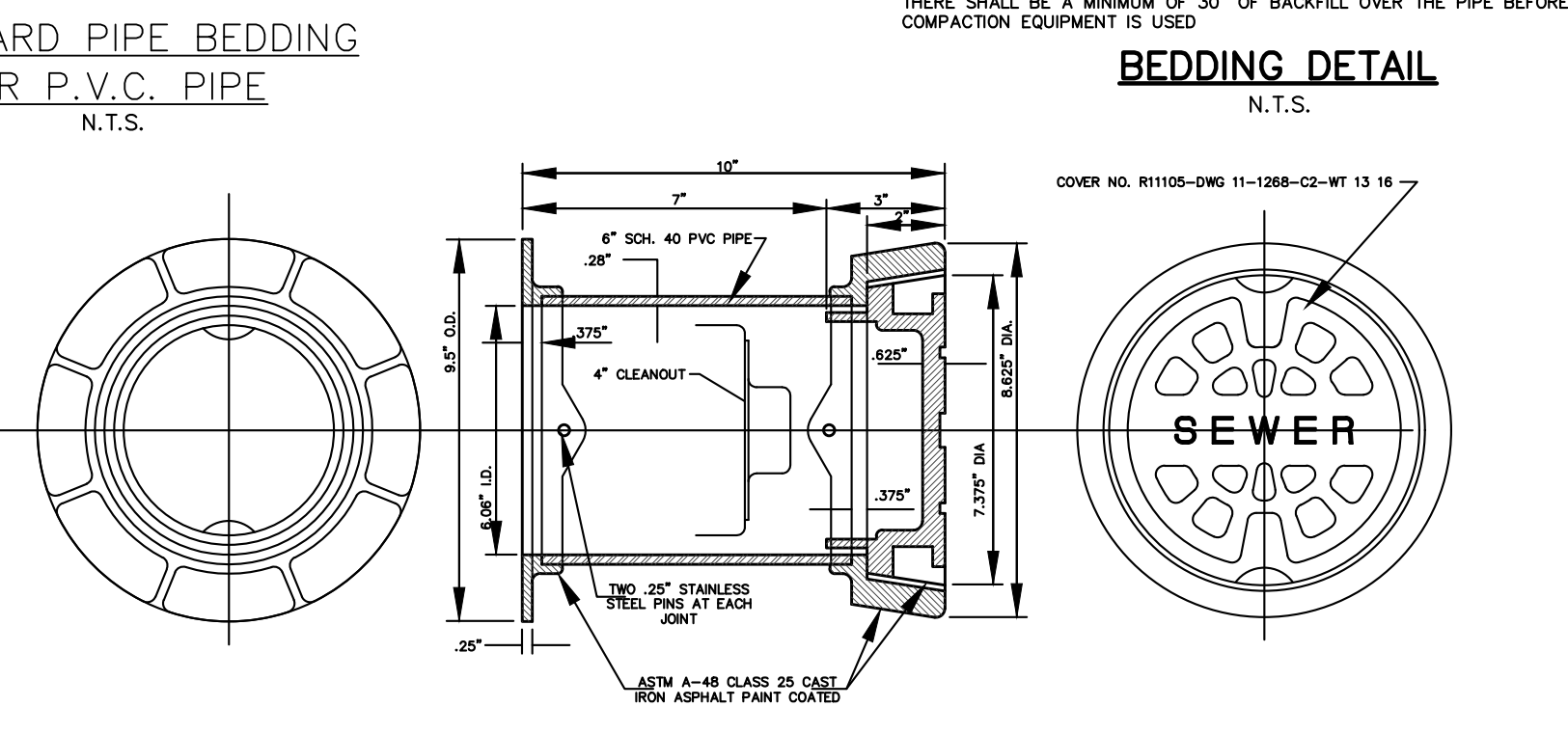
- AT THE DIRECTION OF THE ENGINEER, THE CONTRACTOR SHALL CUT INTO THE MANHOLE AND COMPLETE A CONNECTION USING A SUITABLE ADAPTOR AS REQ'D.
- THE CONTRACTOR SHALL NOT INTERFERE WITH EXISTING SEWERAGE SERVICE DURING THE PERIOD OF CONSTRUCTION AND SHALL TAKE ALL NECESSARY PRECAUTIONS TO KEEP DEBRIS OUT OF MANHOLE.

GENERAL MANHOLE NOTES

- SEWER PIPE AT MANHOLES SHALL BE IMBEDDED IN CLASS 'B' CONCRETE UP TO THE FIRST JOINT OR TO FIRM BEDDING.
- SHORTS SHALL BE USED AT MANHOLES (6" MIN).
- EXTERIOR SURFACES SHALL BE PAINTED WITH TWO COATS OF 18 MIL TOTAL COAL TAR EPOXY (C-2006G) OR SSPC - PAINT 16.
- ALL CONSTRUCTION SHALL MEET STANDARD SPECIFICATIONS, THE LATEST REVISIONS.
- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST O.S.H.A. STANDARD, WHERE POSSIBLE.
- MINIMUM COMPRESSIVE STRENGTH OF CONCRETE FOR ALL SECTIONS OF MANHOLES SHALL BE 4000 PSI.
- ALL MANHOLE JOINTS TO CONFORM TO A.S.T.M. SPECIFICATION C-361, AND GROUTED AND POINTED ON INSIDE AND OUTSIDE SURFACES.
- MAXIMUM DISTANCE BETWEEN MANHOLES SHALL BE 400 FEET.
- A MINIMUM DROP OF 0.10 FEET SHALL BE PROVIDED BETWEEN THE INFLUENT AND EFFLUENT INVERTS OF MANHOLES.
- MANHOLES SIX FEET DEEP OR LESS SHALL BE CONSTRUCTED WITH PRE-CAST SLAB TOP INSTEAD OF CONE TOP.
- WATER-TIGHT CONNECTIONS SHALL BE PROVIDED AT ALL PIPE OPENINGS UTILIZING RUBBER BOOTS, WEDGES OR SOME OTHER METHOD AS APPROVED BY THE ENGINEER.
- FLAT SLAB MANHOLE COVERS SHALL BE DESIGNED FOR A MINIMUM H-20 HIGHWAY LOADING AND BE DESIGNED IN ACCORDANCE WITH A.S.T.M. C-478. MINIMUM SLAB THICKNESS SHALL BE IN ACCORDANCE WITH A.S.T.M. DESIGN CRITERIA.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONSTRUCTING ADEQUATE BALLAST TO OFFSET FLUTATION FORCES ACTING ON MANHOLES INSTALLED IN WET AREAS.
- MANHOLES IN EASEMENTS SHALL BE SET 6" ABOVE FINISHED GRADE AND SHALL HAVE LOCKING COVERS.
- ALL MANHOLE WALLS, CHANNELS AND BENCHES MUST HAVE EPOXY COATING. EPOXY MUST BE SEQUARD 62 OR APPROVED EQUAL. BENCHES MUST HAVE A NON-SLIP SURFACE.

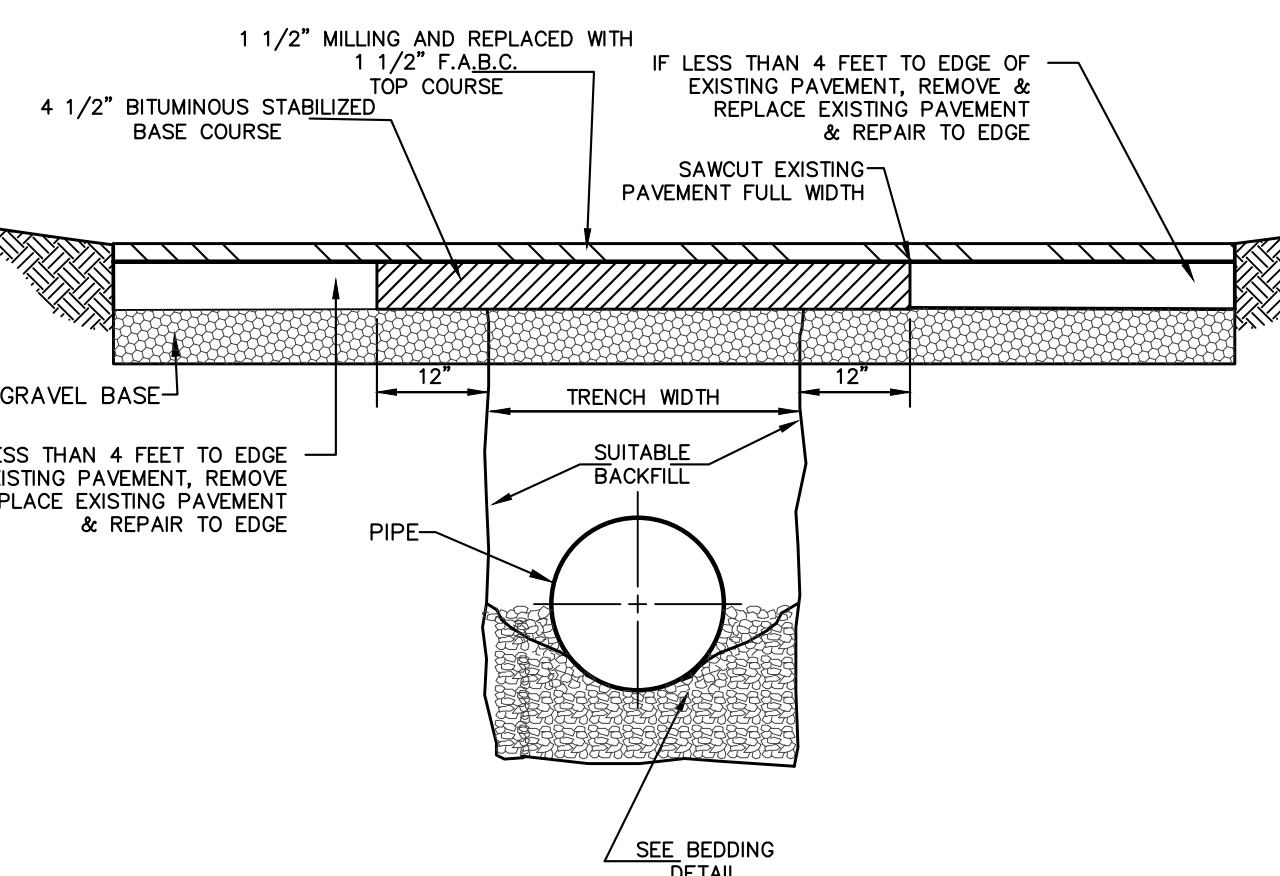


STANDARD PIPE BEDDING FOR P.V.C. PIPE
N.T.S.

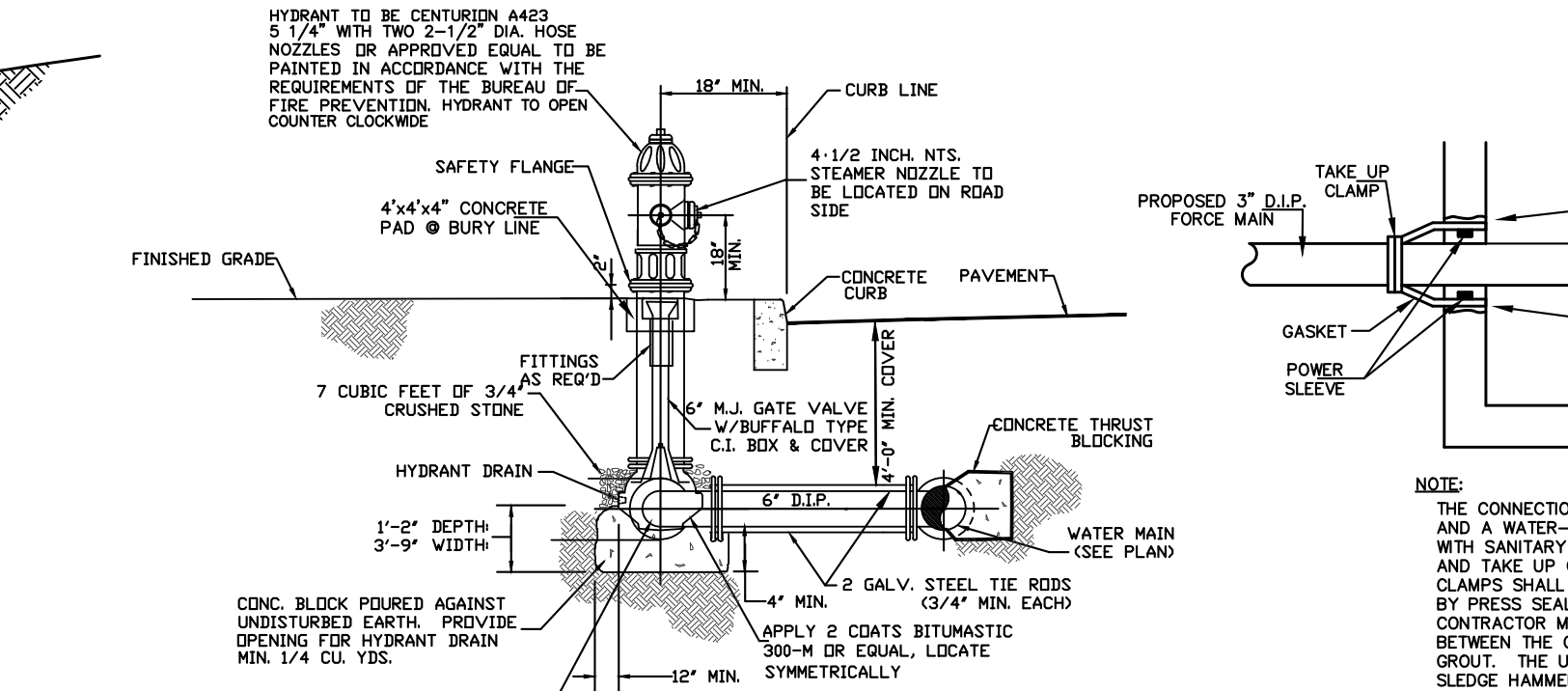


CC4 BOX & COVER FOR ALL CURB CLEANOUTS
N.T.S.

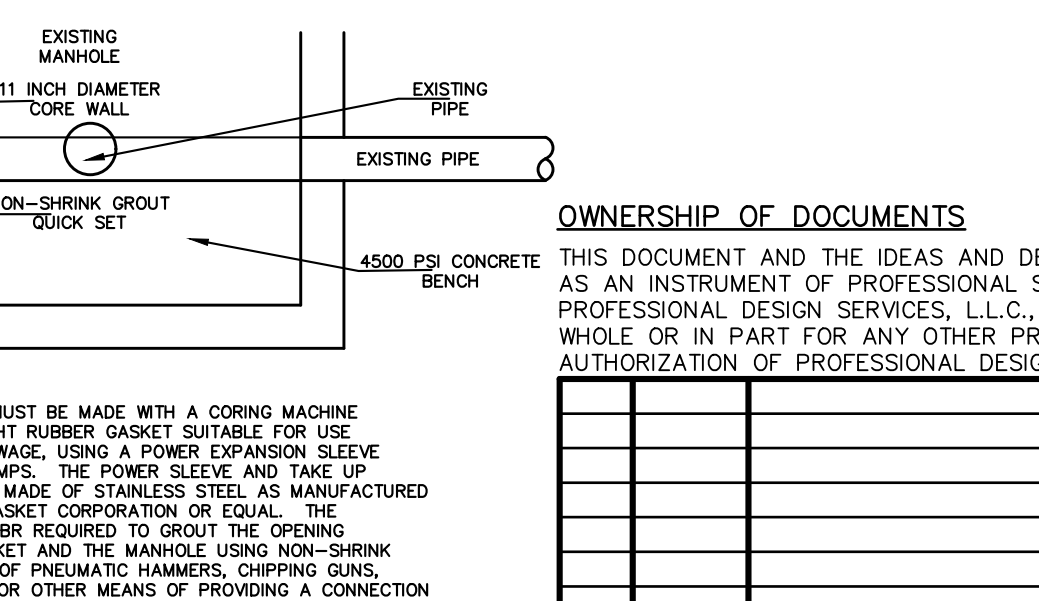
- CONSTRUCTION NOTES:
- SERVICE CONNECTION TRENCHES ARE TO BE REPAIRED AS ABOVE.
 - ANY SUPERFICIAL SURFACE DAMAGE CAUSED BY THE CONTRACTOR OUTSIDE THE LIMIT SHOWN, SHALL BE PAVED WITH SURFACE COURSE. WHEN THE EXISTING PAVEMENT IS DAMAGED BEYOND THE LIMIT SHOWN THE CONTRACTOR SHALL EXCAVATE 6" BEYOND THE DAMAGED AREA AND REPLACE IT WITH BITUMINOUS STABILIZED BASE COURSE.



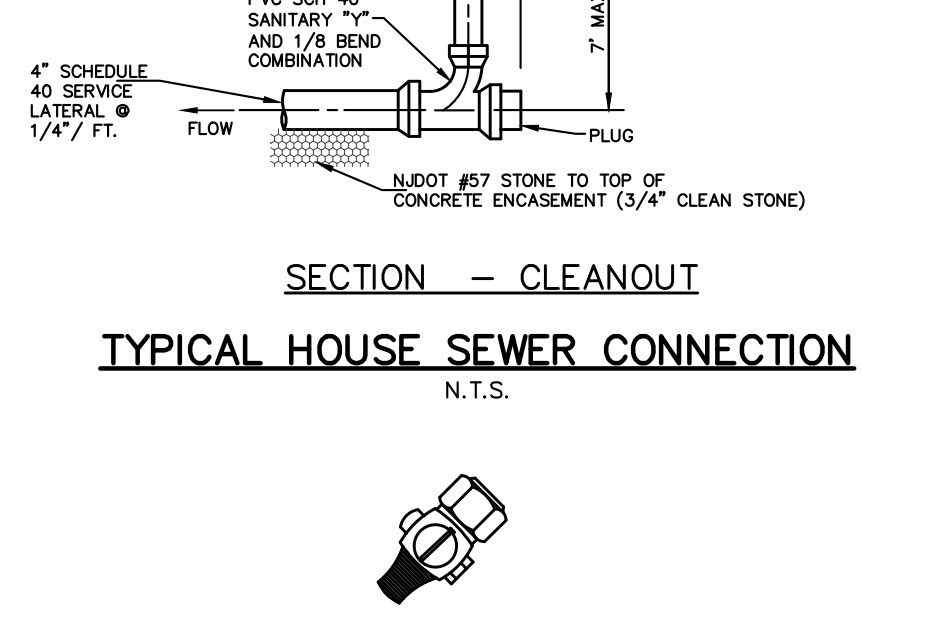
MUNICIPAL TRENCH & PAVEMENT REPAIR
N.T.S.



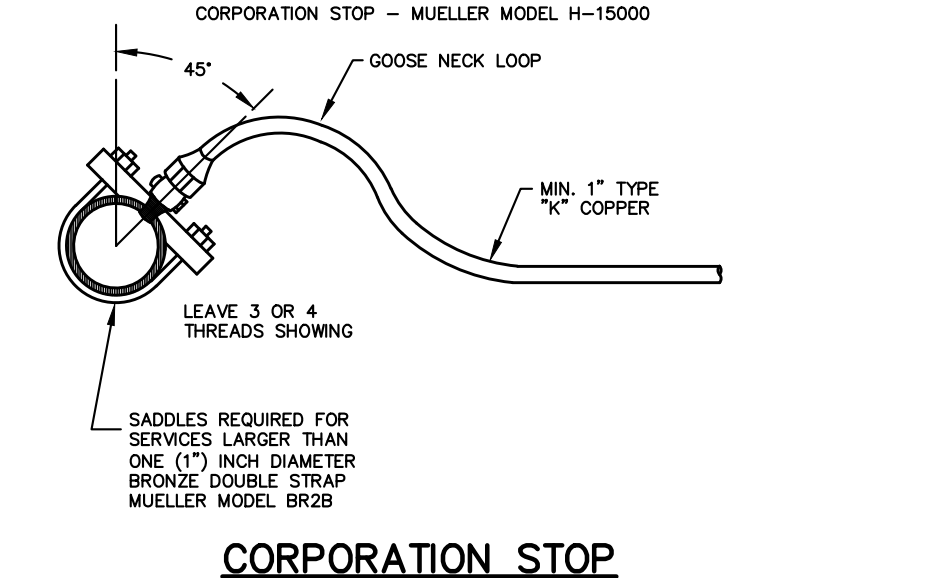
FIRE HYDRANT DETAIL
N.T.S.



CONNECTION TO EXISTING MANHOLE
N.T.S.

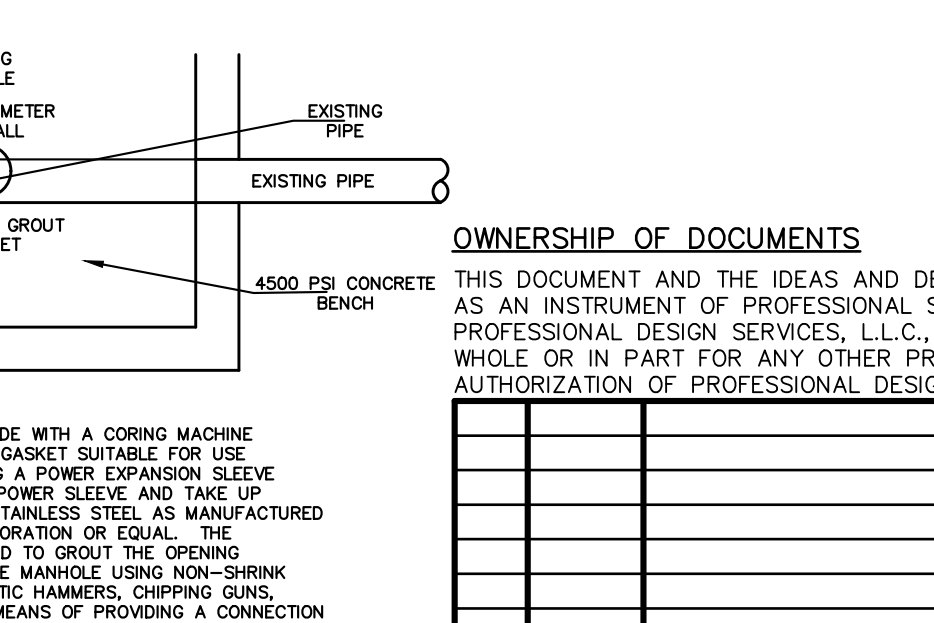


TYPICAL HOUSE SEWER CONNECTION
N.T.S.



CORPORATION STOP
N.T.S.

CONCRETE THRUST BLOCK DETAIL
N.T.S.



CONCRETE THRUST BLOCK DETAIL
N.T.S.

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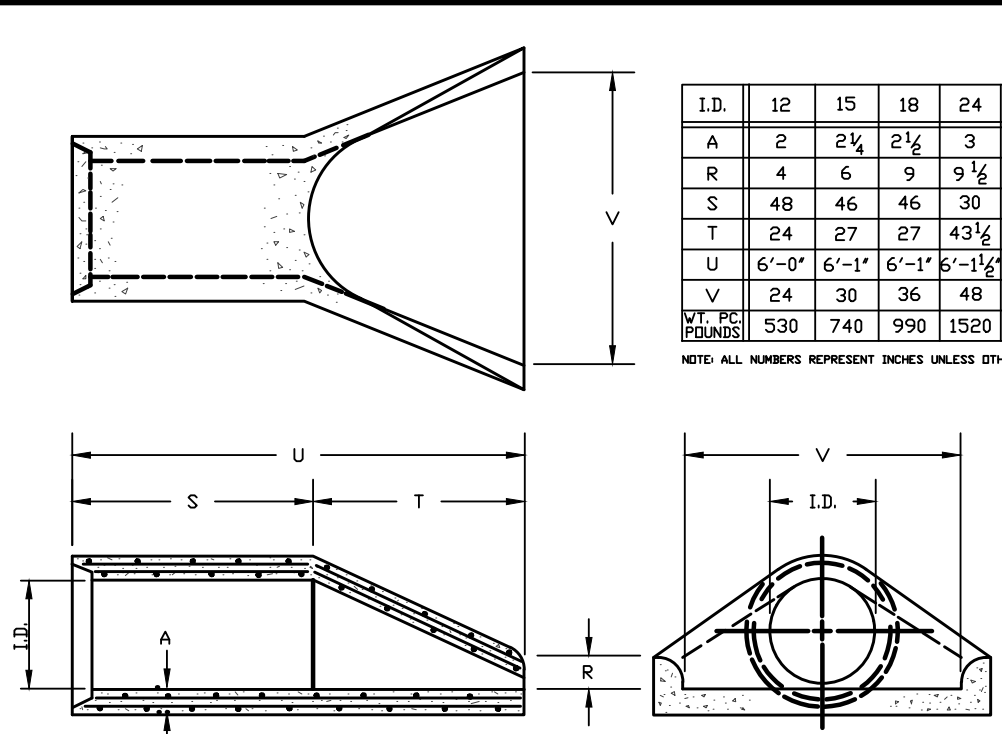
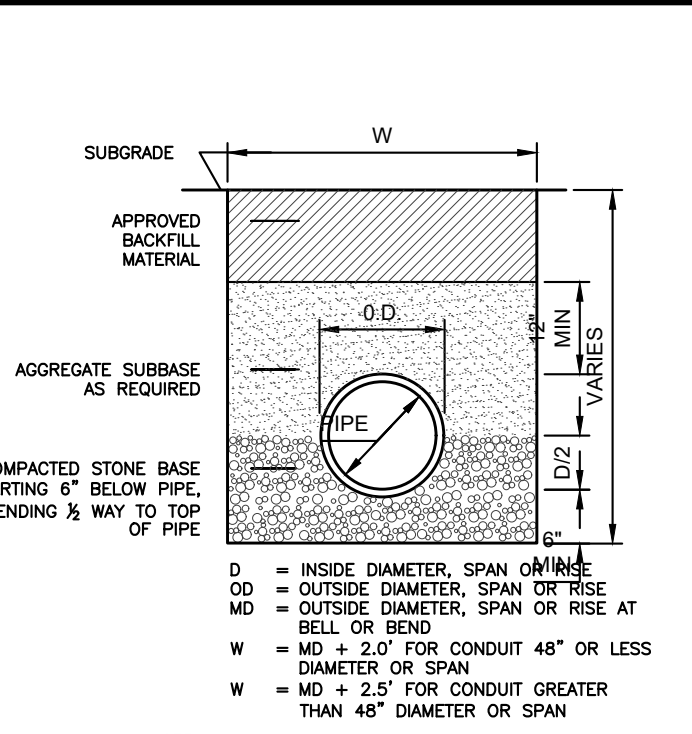
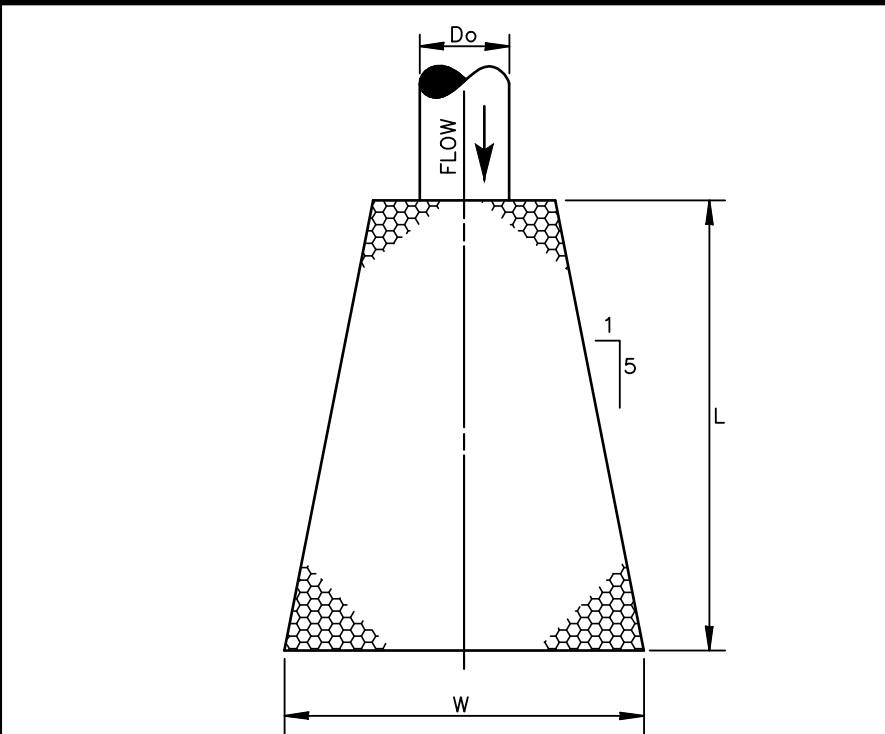
| NO. | DATE | DESCRIPTION | BY |
|-----|---------|---|-----|
| 3 | 11/8/21 | REVISED PER NEPTUNE ZONING BOARD OF ADJUSTMENT ENGINEER | SDC |
| 2 | 8/23/21 | ADDED LOT & BLOCK NUMBERS | SDC |
| 1 | 8/3/21 | REVISED PER N.A.W.C. | SDC |

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CONSULTING ENGINEERS, LAND SURVEYORS, PLANNERS,
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1245 AIRPORT ROAD, SUITE 1, LAKEWOOD, NEW JERSEY 08701
PHONE 732 363 0800 FAX 732 363 0803
ENGINEERING@PDS-NJ.COM WWW.PDS-NJ.COM
NEW JERSEY STATE BOARD OF P.E. & L.S.
CERTIFICATE OF AUTHORIZATION NO. 24G28125400

WILLIAM A. STEVENS, P.E., P.P.
PROFESSIONAL ENGINEER, NEW JERSEY LIC. #39115
PROFESSIONAL PLANNER, NEW JERSEY LIC. #3794

PRELIMINARY & FINAL MAJOR SUBDIVISION
CONSTRUCTION DETAILS
VICTORIA GARDENS
BLOCK 4001 - LOTS 1, 2 & 3
TOWNSHIP OF NEPTUNE
MONMOUTH COUNTY NEW JERSEY

| SCALE: | DATE: | JOB NUMBER: | SHEET |
|--------------|--------------|-------------|-------|
| NOT TO SCALE | MAY 25, 2021 | 321644 | 21 |
| DRAWN BY: | DESIGNED BY: | CHECKED BY: | |
| SDC | IMB | WAS | 34 |



| | | | | | | | |
|------|-------|--------|--------|-----------|--------|--------|-------|
| I.D. | 12 | 15 | 18 | 24 | 30 | 36 | 42 |
| A | 2 | 2 1/4 | 2 1/2 | 3 | 3 1/4 | 4 | 4 1/4 |
| R | 4 | 6 | 9 | 9 1/2 | 12 | 15 | 21 |
| S | 48 | 46 | 46 | 30 | 19 3/4 | 34 3/4 | 35 |
| T | 24 | 27 | 27 | 43 1/2 | 54 | 63 | 63 |
| U | 6'-0" | 6'-11" | 6'-11" | 5'-1 1/2" | 5'-10" | 6'-2" | 6'-2" |
| V | 24 | 30 | 36 | 48 | 60 | 72 | 78 |
| W | 530 | 740 | 990 | 1520 | 2190 | 4100 | 5380 |

NOTE: ALL NUMBERS REPRESENT INCHES UNLESS OTHERWISE SPECIFIED.

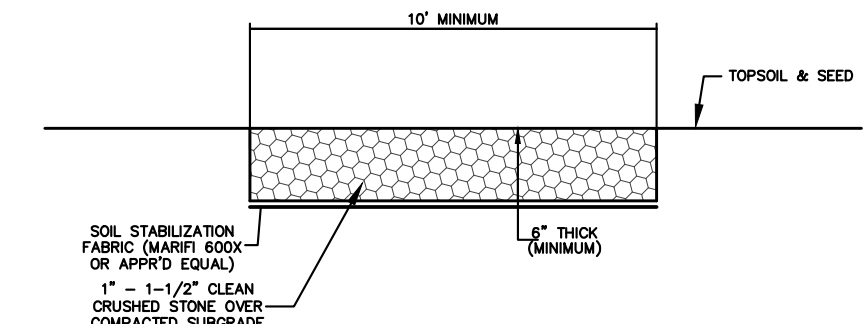
NOTE: 1. FILL SECTION AREA MUST BE GRADED 2"-0" MINIMUM ABOVE TOP OF PIPE BEFORE EXCAVATING TRENCH.

FLARED END SECTION

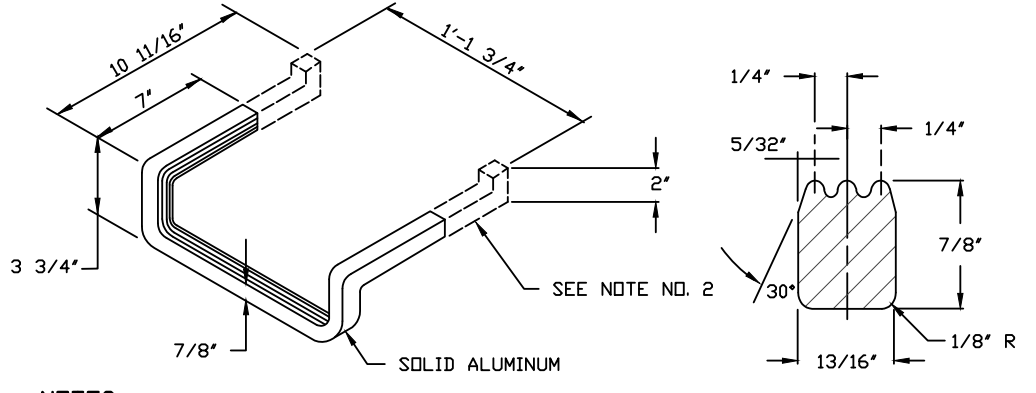
| FLARED END SECTION NUMBER | D _o (INCHES) | L (FEET) | W (FEET) | d ₆₀ (FEET) | THICKNESS (FEET) |
|---------------------------|-------------------------|----------|----------|------------------------|------------------|
| 1 | X | X | X | X | X |
| | | | | | |
| | | | | | |
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| | | | | | |
| | | | | | |
| | | | | | |
| | | | | | |
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CONDUIT OUTLET PROTECTION FLARED END SECTIONS

NOTE: THICKNESS OF d₆₀ INCLUDES THE USE OF FILTER FABRIC

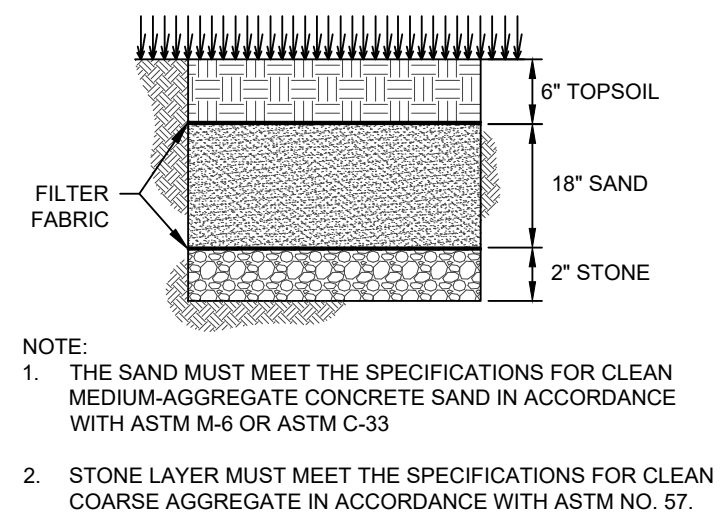


Basin Stabilized Access Road Detail



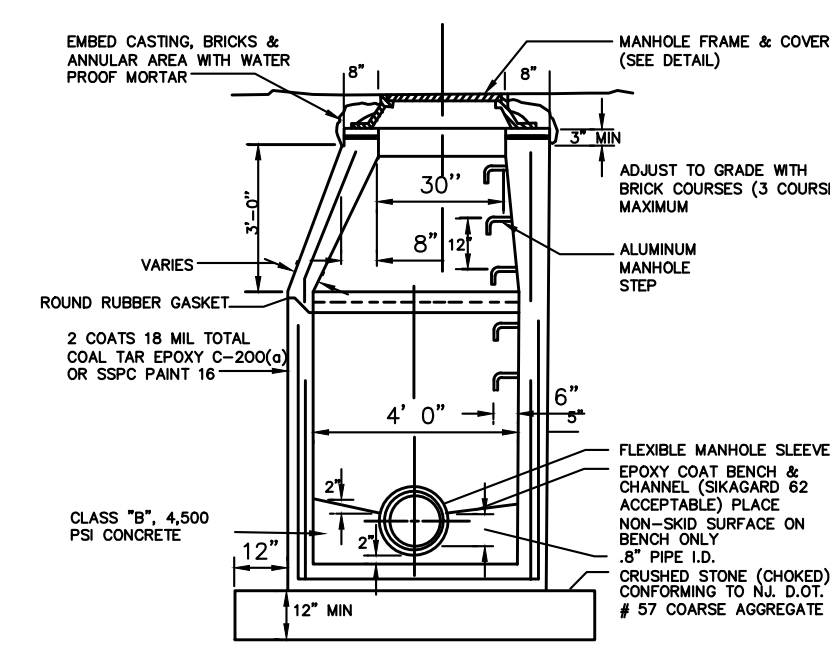
NOTES:
1. ALUMINUM STEP SHALL BE EXTRUDED ALUM. 6061-T6 ALLOY DROP FRONT DESIGN OR APPROVED EQUAL.
2. THE PORTION TO BE IMBEDDED IN THE CONCRETE SHALL BE COATED WITH COLTAR PITCH OR OTHER APPROVED MATERIAL.

LADDER RUNG



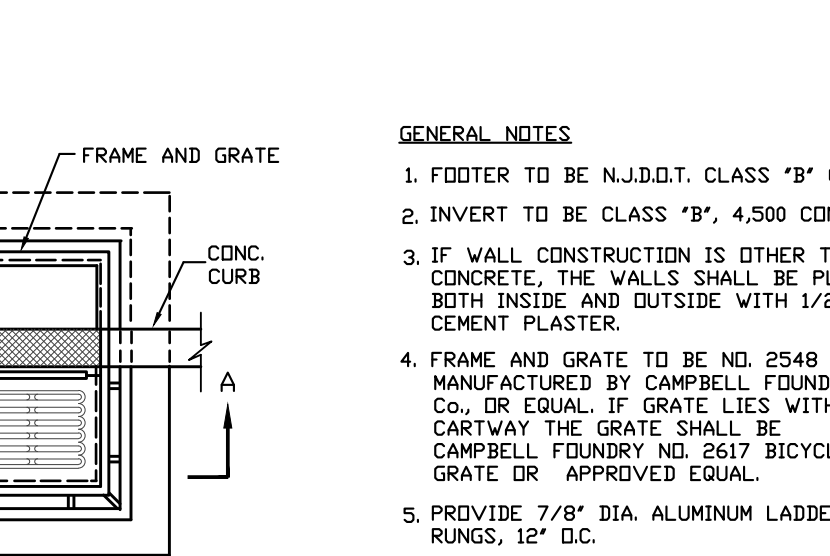
SAND FILTER BED

NOTES:
1. THE SAND MUST MEET THE SPECIFICATIONS FOR CLEAN MEDIUM-AGGREGATE CONCRETE SAND IN ACCORDANCE WITH ASTM M-8 OR ASTM C-33
2. STONE LAYER MUST MEET THE SPECIFICATIONS FOR CLEAN COARSE AGGREGATE IN ACCORDANCE WITH ASTM NO. 57.

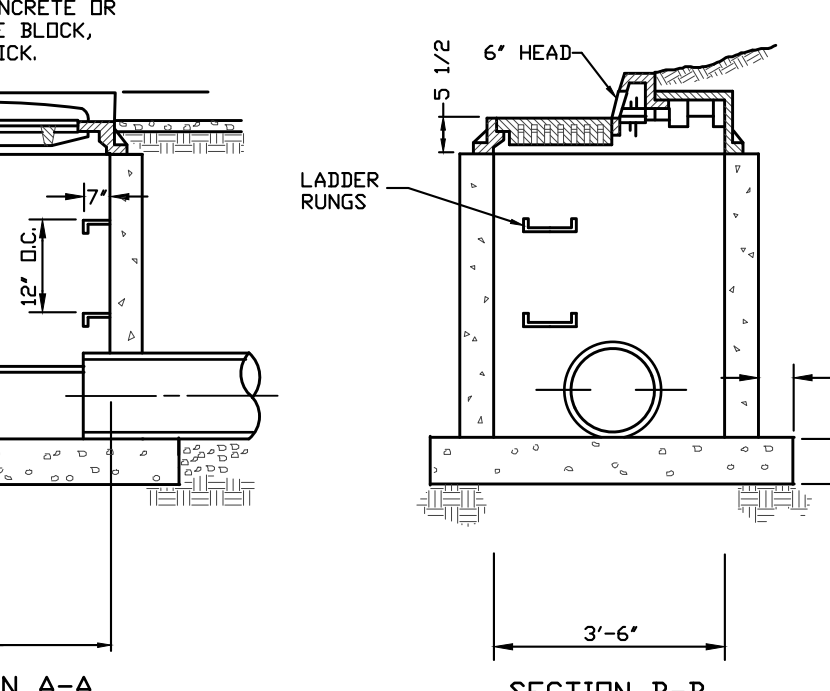


NOTES:
1. INTERIOR SURFACES TO BE TREATED WITH 2 COATS 18 ML TOTAL COAL TAR EPOXY MEETING SPECIFICATION C-20040 OR SSPC-PART 16 REZOVING DIRECT DISCHARGE FROM PUMP STATION OR DIFFERENCE IN INVERT ELEVATIONS EXCEEDS 12"
2. RISER CONES AND SLABS SHALL BE CONSTRUCTED IN ACCORDANCE WITH A.S.T.M. C-487
3. NON PENETRATING LIFTING HOLES SHALL BE PROVIDED IN ALL UNITS.
4. ABSORPTION NOT TO EXCEED 28 IN ACCORDANCE WITH A.S.T.M. C-78
5. ALL JOINTS TO BE CONSTRUCTED IN ACCORDANCE WITH A.S.T.M. C-361

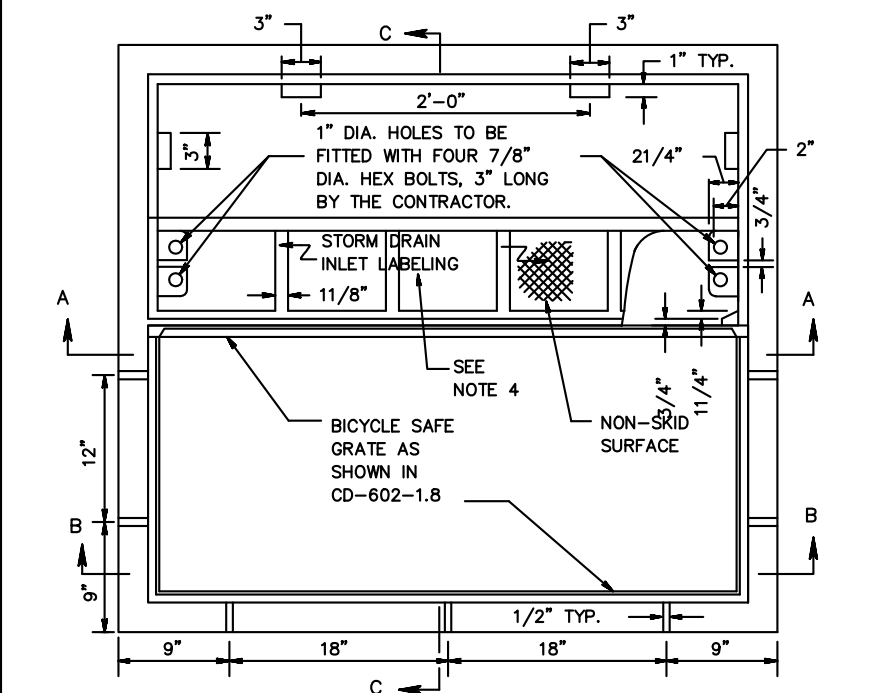
STORM DRAINAGE MANHOLE



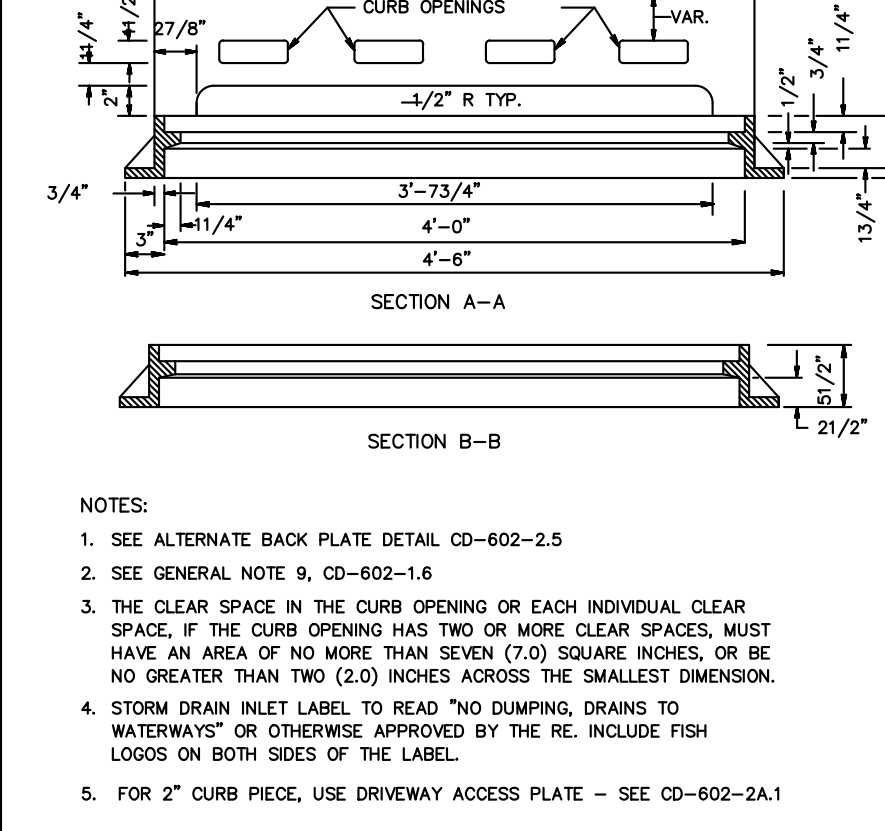
BICYCLE SAFE GRATE (CAST IRON)



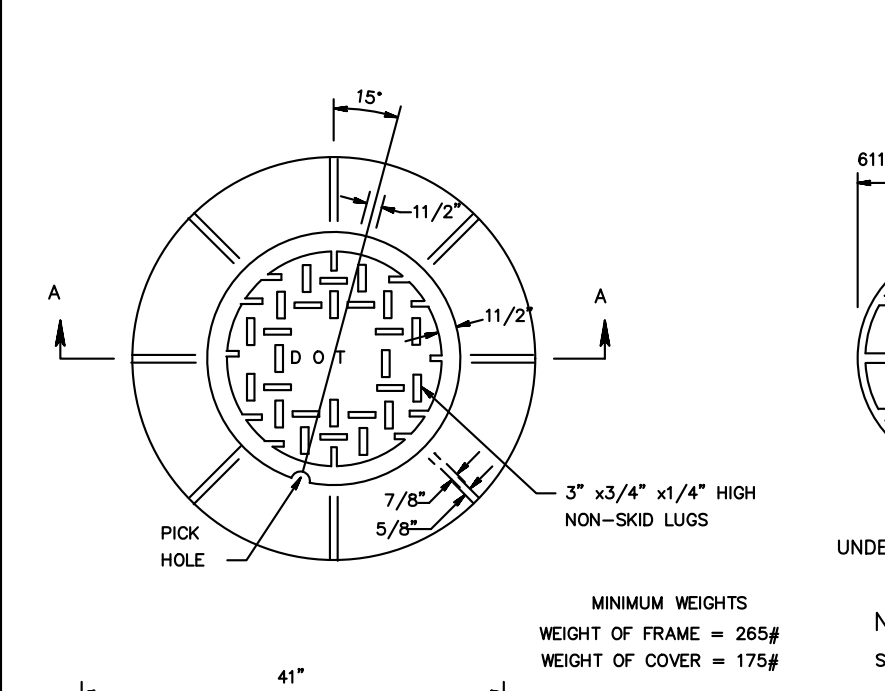
TYPE "B" INLET



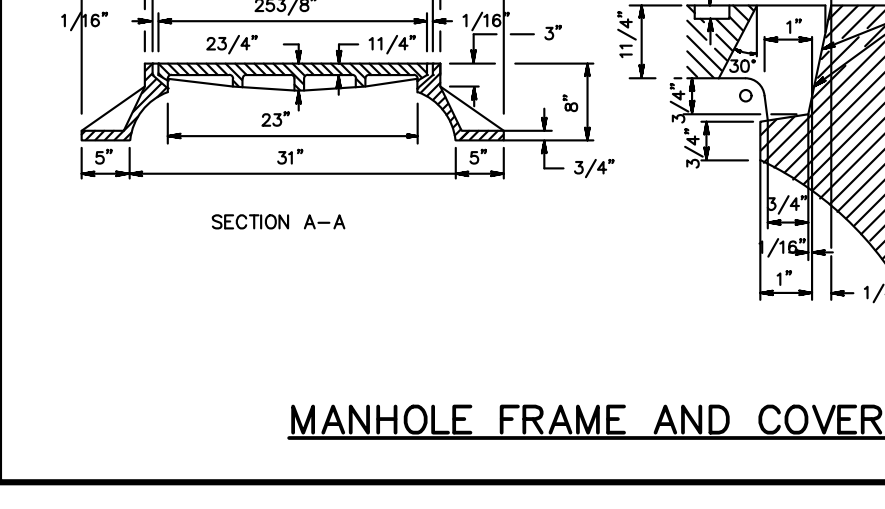
INLET TYPE B AND TYPE C CASTING



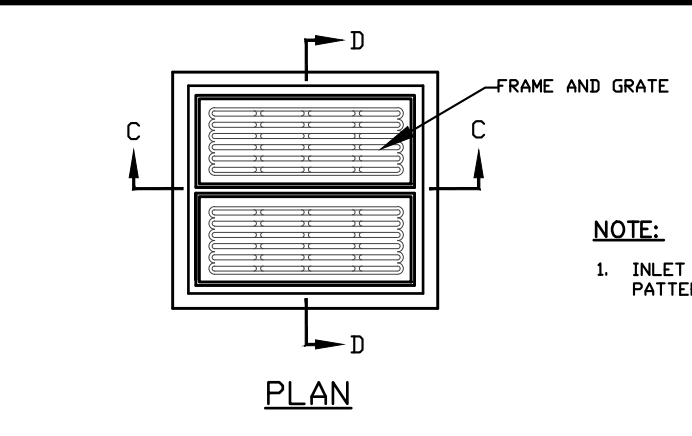
MANHOLE FRAME AND COVER



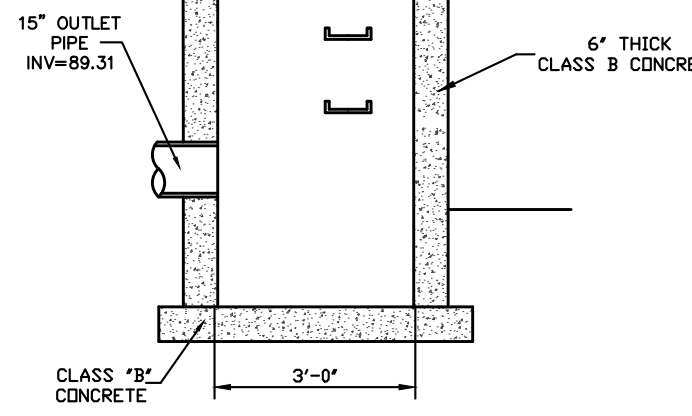
MANHOLE FRAME AND COVER



MANHOLE FRAME AND COVER

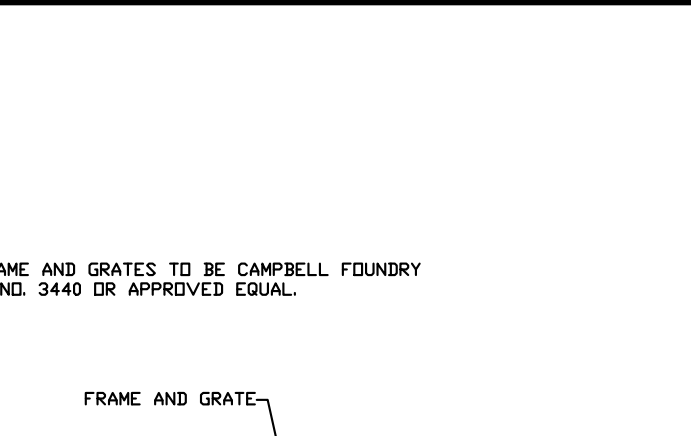


SECTION 'C-C' OUTLET STRUCTURE #1 DETAIL

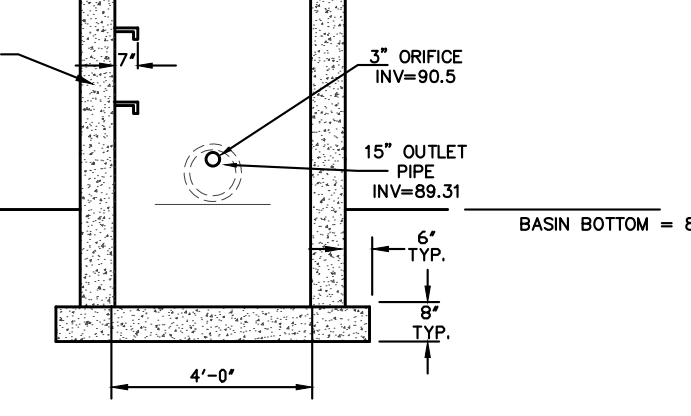


SECTION 'D-D' OUTLET STRUCTURE #1 DETAIL

2 YR = 90.3
10 YR = 90.9
100 YR = 92.3

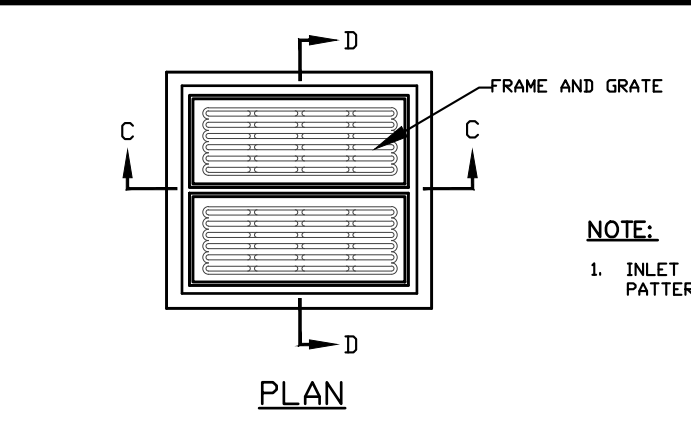


SECTION 'C-C' OUTLET STRUCTURE #2 DETAIL

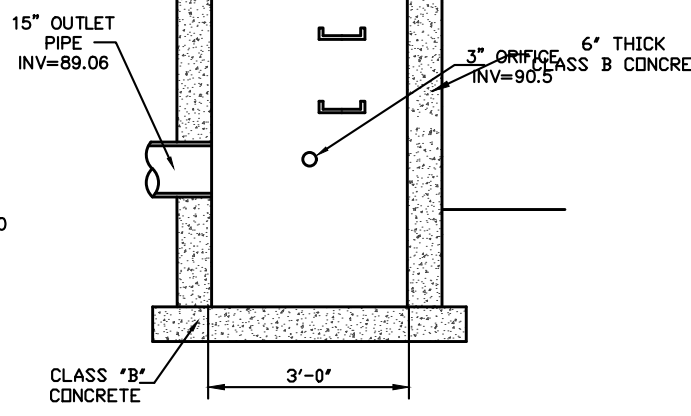


SECTION 'D-D' OUTLET STRUCTURE #2 DETAIL

2 YR = 87.9
10 YR = 88.4
100 YR = 89.5

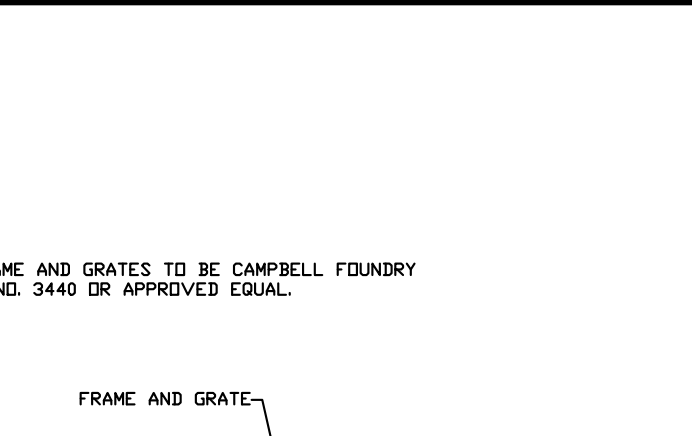


SECTION 'C-C' OUTLET STRUCTURE #3 DETAIL

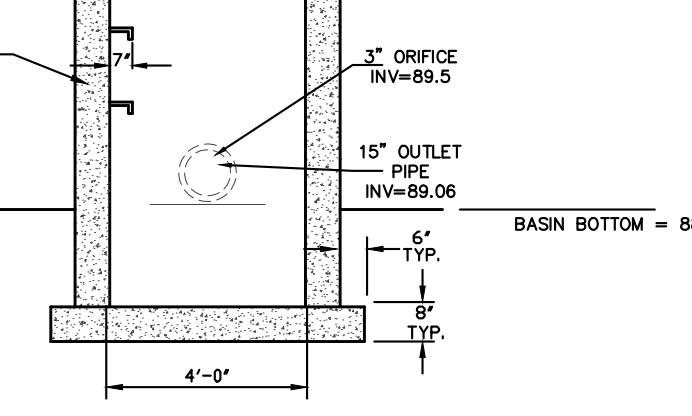


SECTION 'D-D' OUTLET STRUCTURE #3 DETAIL

2 YR = 86.4
10 YR = 86.7
100 YR = 87.7

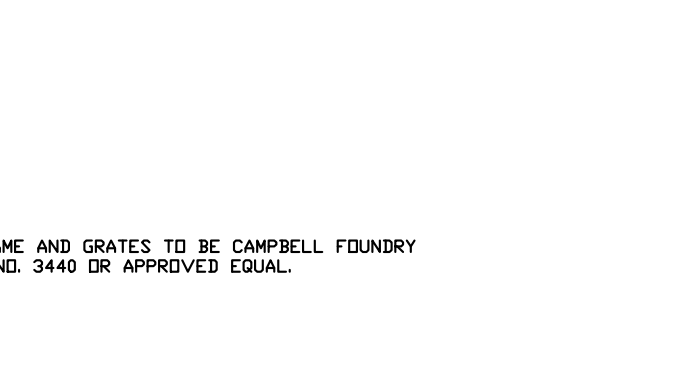


SECTION 'C-C' OUTLET STRUCTURE #4 DETAIL

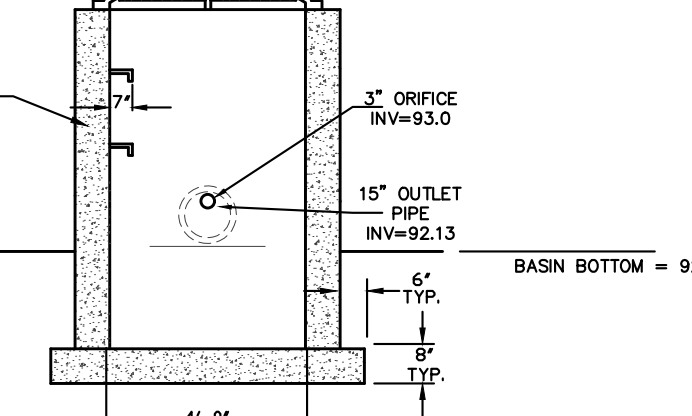


SECTION 'D-D' OUTLET STRUCTURE #4 DETAIL

2 YR = 88.9
10 YR = 89.4
100 YR = 90.8

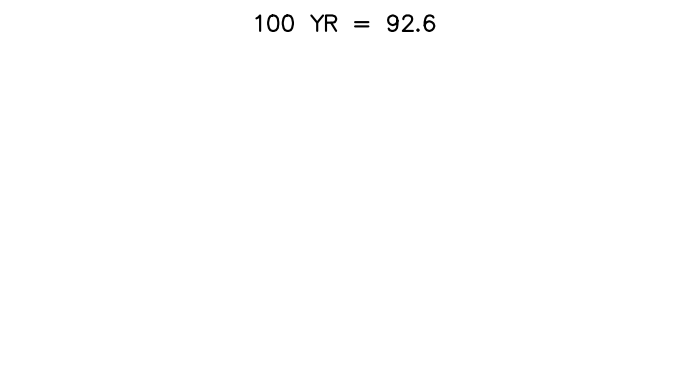


SECTION 'C-C' OUTLET STRUCTURE #5 DETAIL



SECTION 'D-D' OUTLET STRUCTURE #5 DETAIL

2 YR = 92.1
10 YR = 92.2
100 YR = 92.6

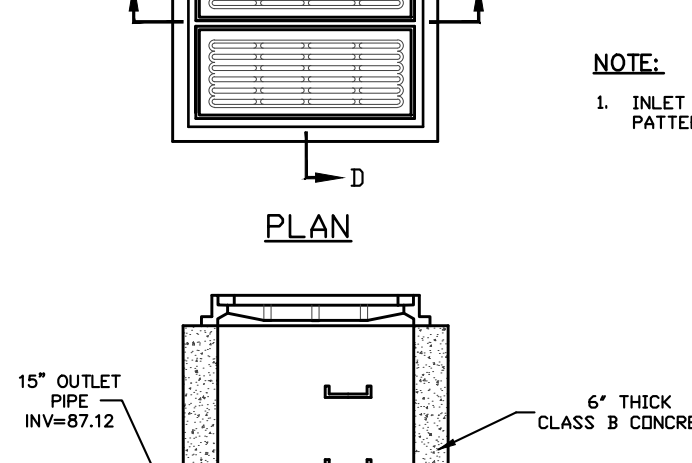


SECTION 'C-C' OUTLET STRUCTURE #6 DETAIL

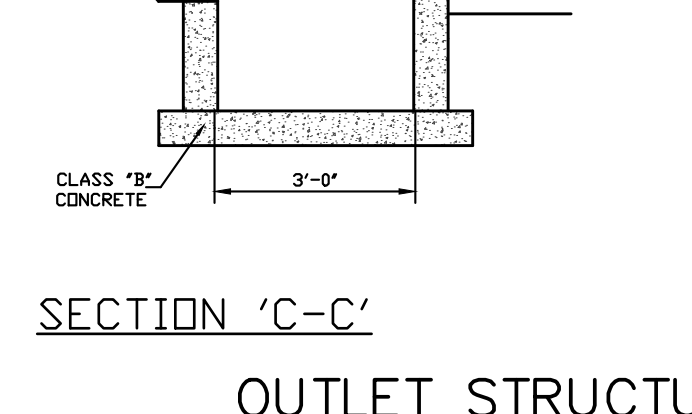


SECTION 'D-D' OUTLET STRUCTURE #6 DETAIL

2 YR = 89.5
10 YR = 90.0
100 YR = 91.0

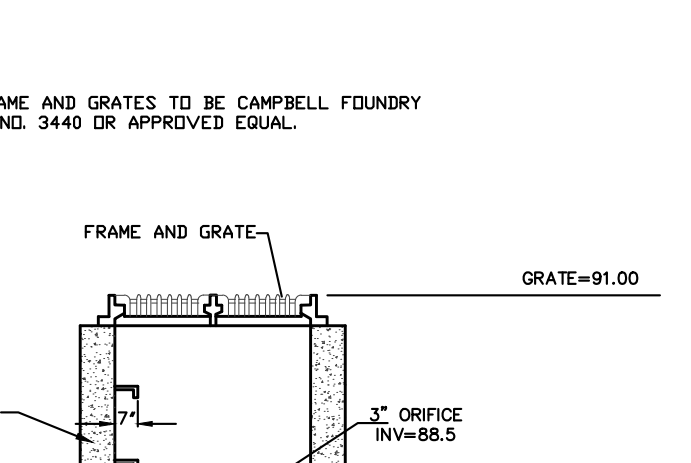


SECTION 'C-C' OUTLET STRUCTURE #7 DETAIL

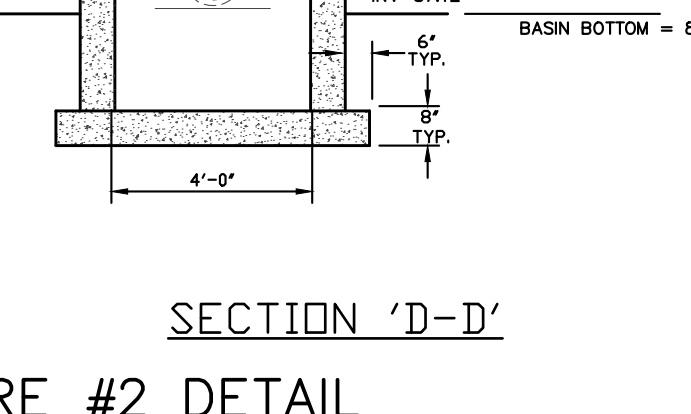


SECTION 'D-D' OUTLET STRUCTURE #7 DETAIL

2 YR = 87.9
10 YR = 88.4
100 YR = 89.5

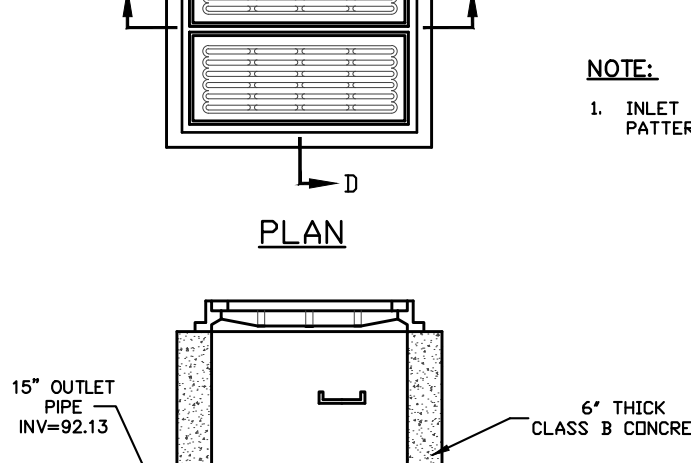


SECTION 'C-C' OUTLET STRUCTURE #8 DETAIL

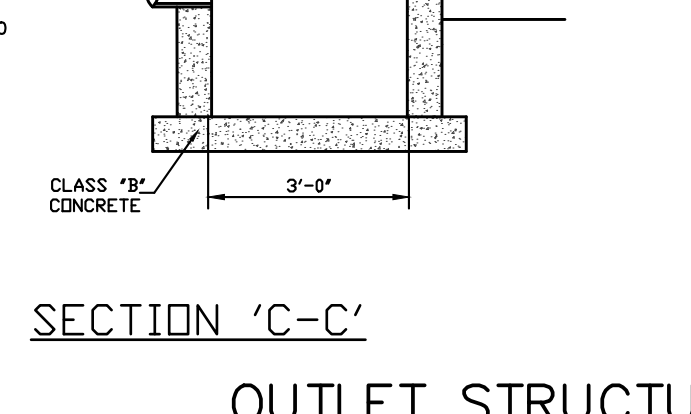


SECTION 'D-D' OUTLET STRUCTURE #8 DETAIL

2 YR = 87.9
10 YR = 88.4
100 YR = 89.5

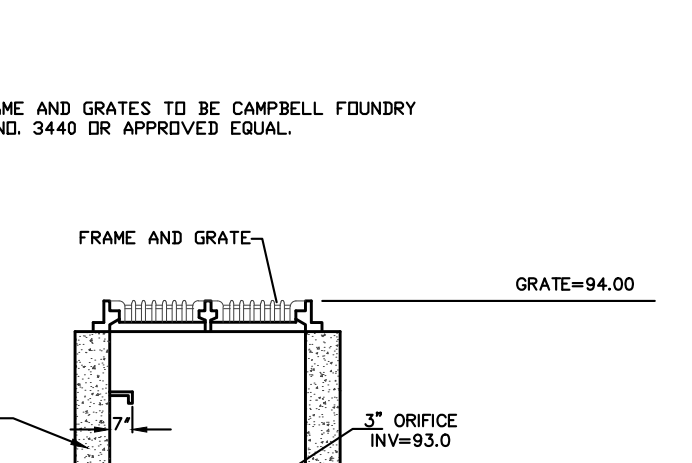


SECTION 'C-C' OUTLET STRUCTURE #9 DETAIL

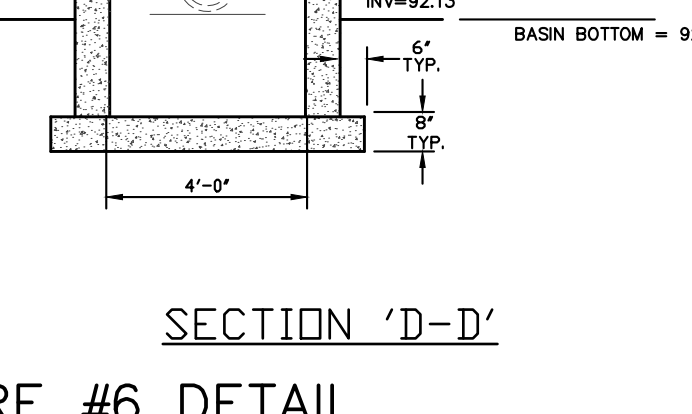


SECTION 'D-D' OUTLET STRUCTURE #9 DETAIL

2 YR = 87.9
10 YR = 88.4
100 YR = 89.5

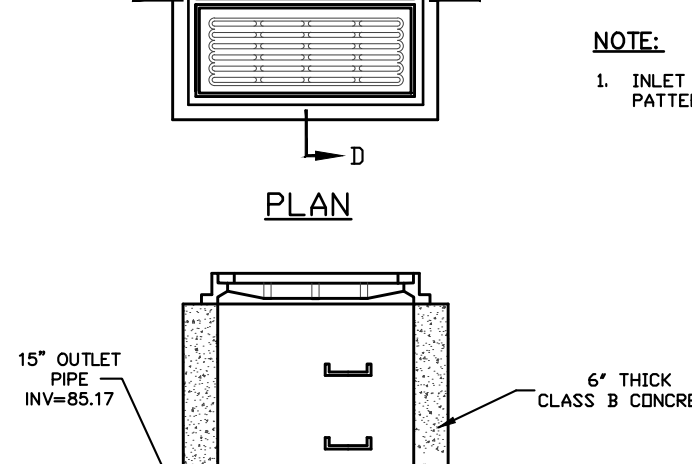


SECTION 'C-C' OUTLET STRUCTURE #10 DETAIL

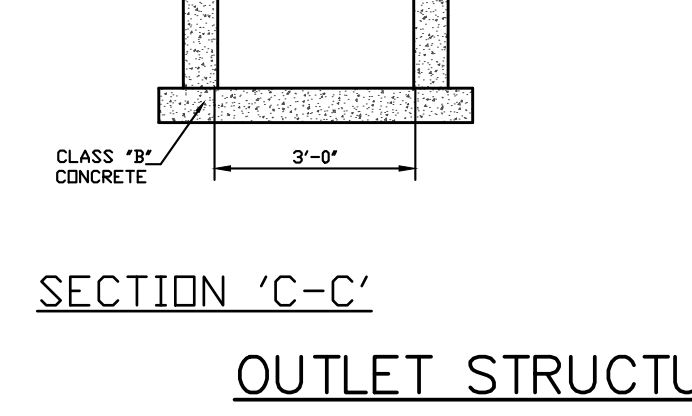


SECTION 'D-D' OUTLET STRUCTURE #10 DETAIL

2 YR = 87.9
10 YR = 88.4
100 YR = 89.5

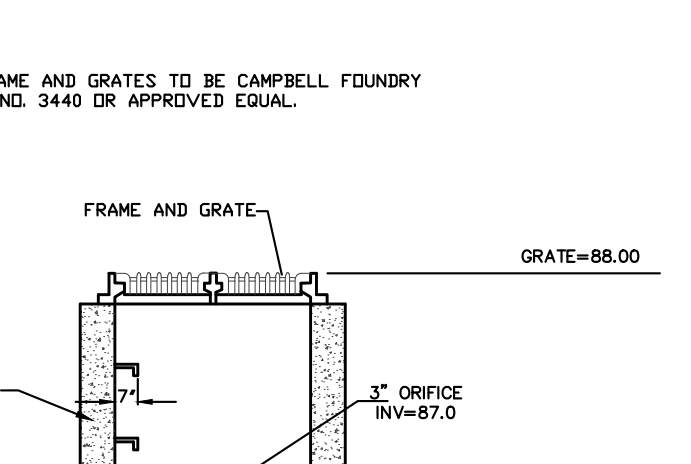


SECTION 'C-C' OUTLET STRUCTURE #11 DETAIL

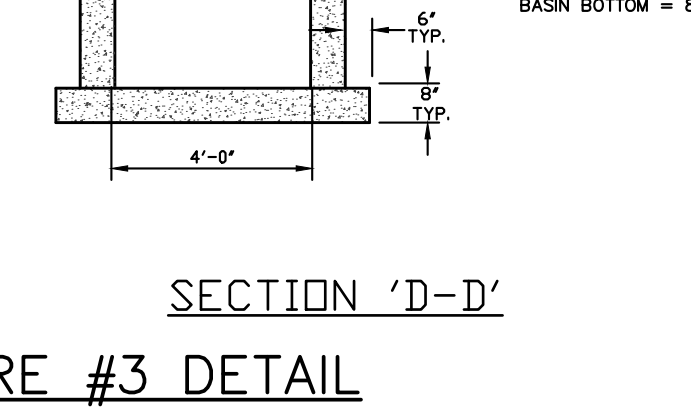


SECTION 'D-D' OUTLET STRUCTURE #11 DETAIL

2 YR = 86.4
10 YR = 86.7
100 YR = 87.7



SECTION 'C-C' OUTLET STRUCTURE #12 DETAIL



SECTION 'D-D' OUTLET STRUCTURE #12 DETAIL

2 YR = 86.4
10 YR = 86.7
100 YR = 87.7

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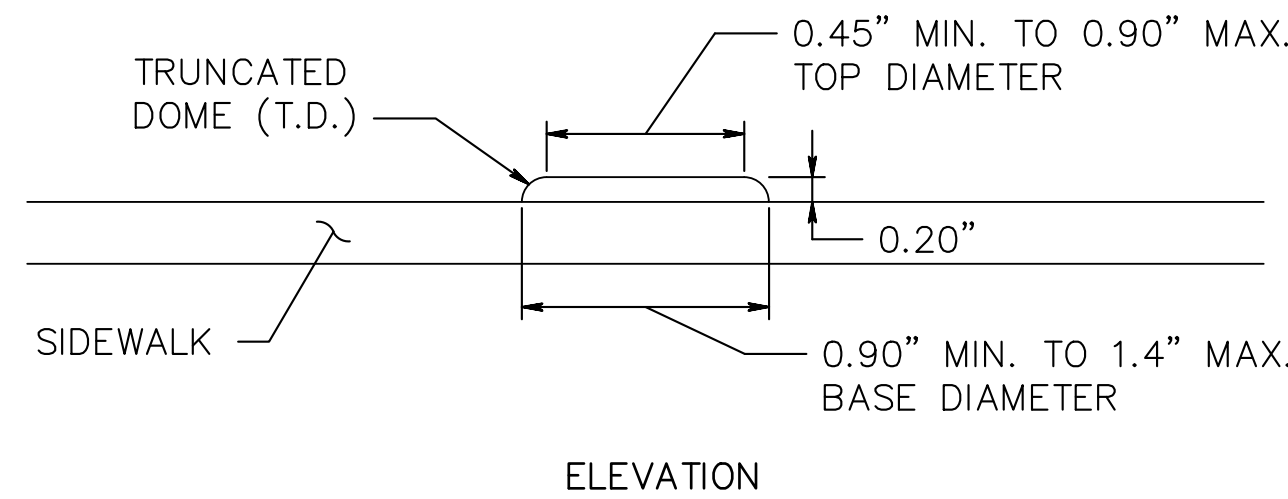
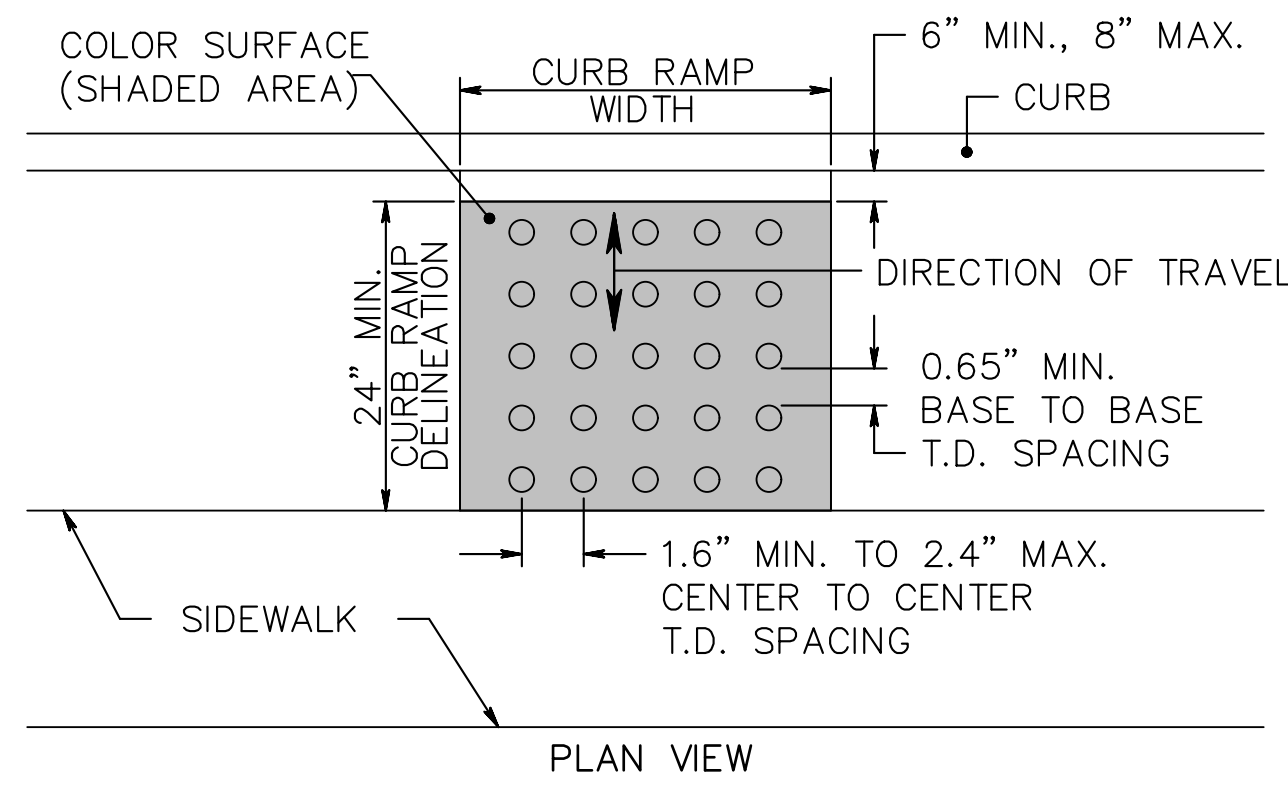
| NO. | DATE | DESCRIPTION | BY |
|-----|---------|---|-----|
| 3 | 11/8/21 | REVISED PER NEPTUNE ZONING BOARD OF ADJUSTMENT ENGINEER | SDC |
| 2 | 8/23/21 | ADDED LOT & BLOCK NUMBERS | SDC |
| 1 | 8/3/21 | REVISED PER NJAFC | SDC |

PDS
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NEW JERSEY STATE BOARD OF P.E. & L.S.
CERTIFICATE OF AUTHORIZATION NO. 24GA28125400

WILLIAM A. STEVENS, P.E., P.P.
PROFESSIONAL ENGINEER, NEW JERSEY LIC. #3915
PROFESSIONAL PLANNER, NEW JERSEY LIC. #394

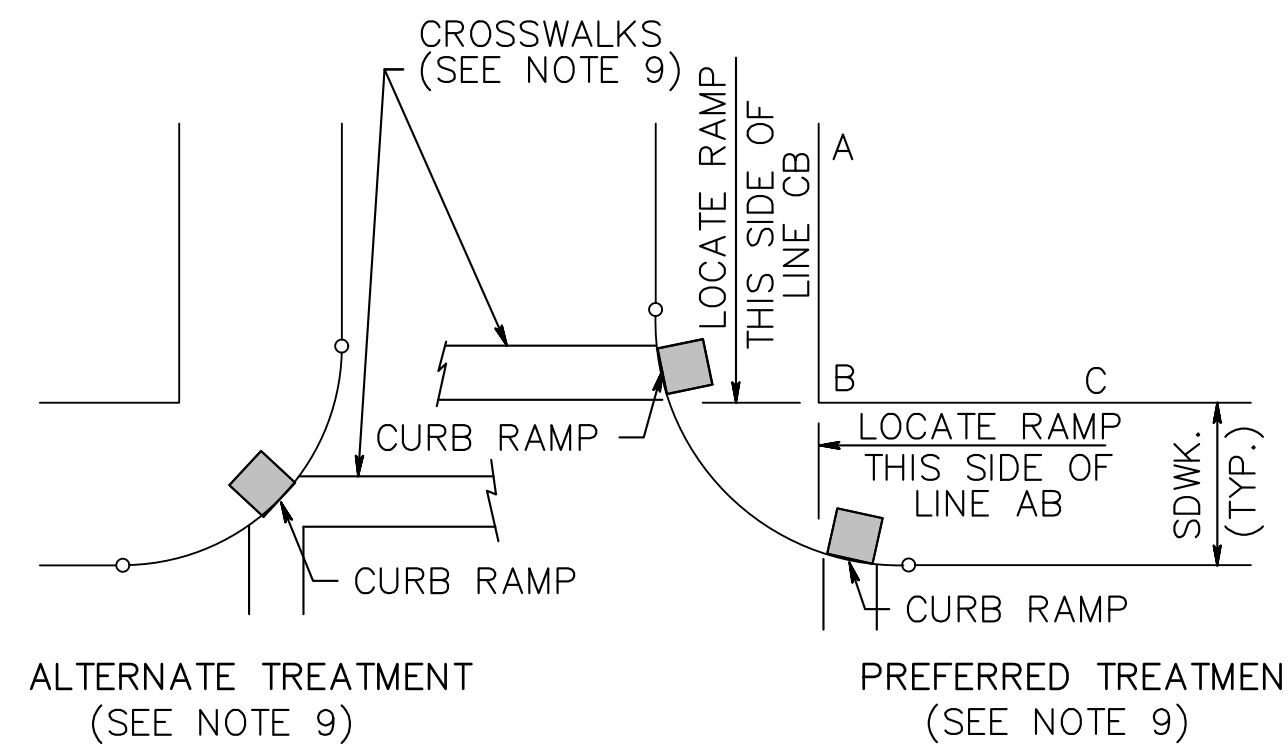
PRELIMINARY & FINAL MAJOR SUBDIVISION
CONSTRUCTION DETAILS
VICTORIA GARDENS
BLOCK 4001 - LOTS 1, 2 & 3
TOWNSHIP OF NEPTUNE
MONMOUTH COUNTY NEW JERSEY

| SCALE: | DATE: | JOB NUMBER: | SHEET |
|--------------|--------------|-------------|-------|
| NOT TO SCALE | MAY 25, 2021 | 321644 | 22 |
| DRAWN BY: | DESIGNED BY: | CHECKED BY: | |
| SDC | IMB | WAS | 34 |

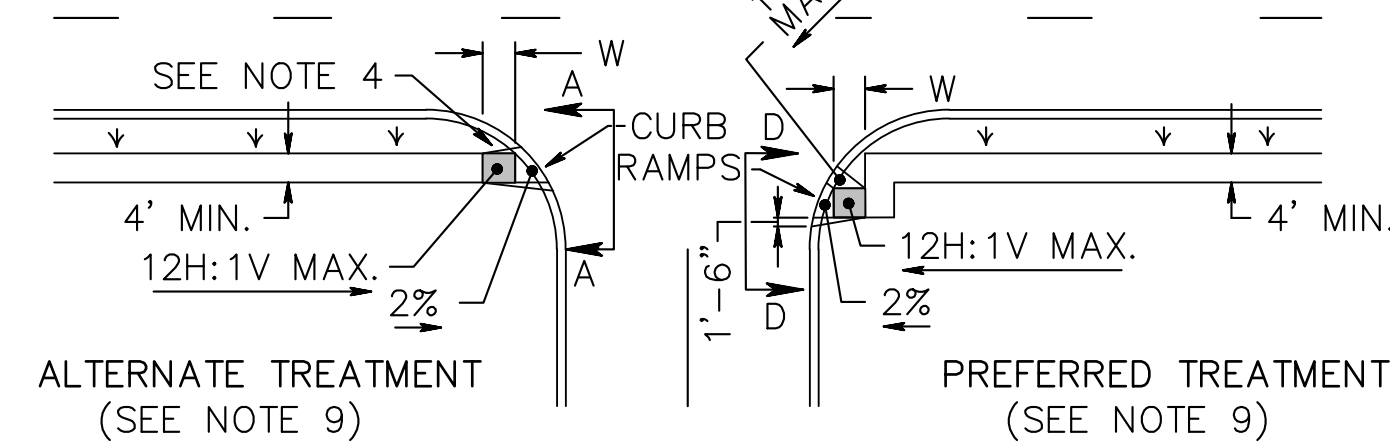
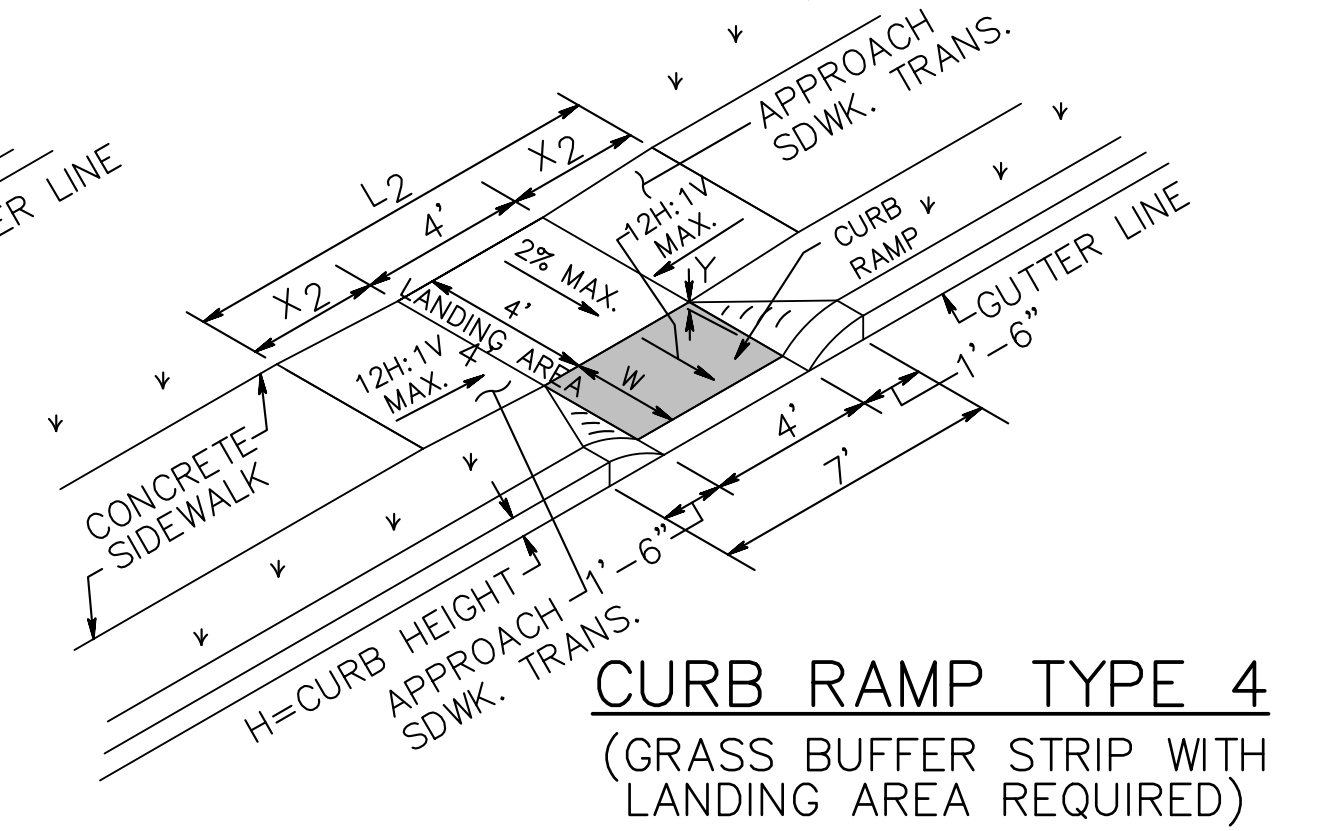
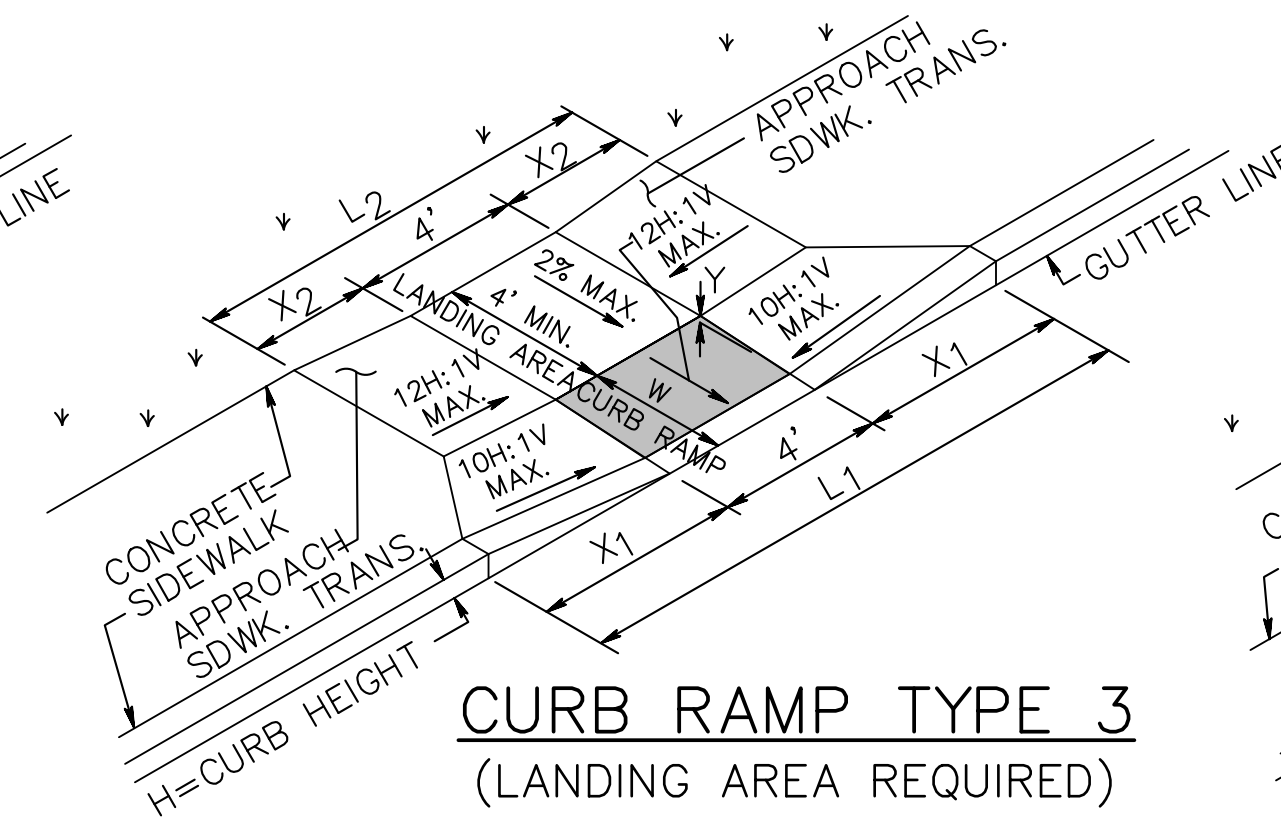
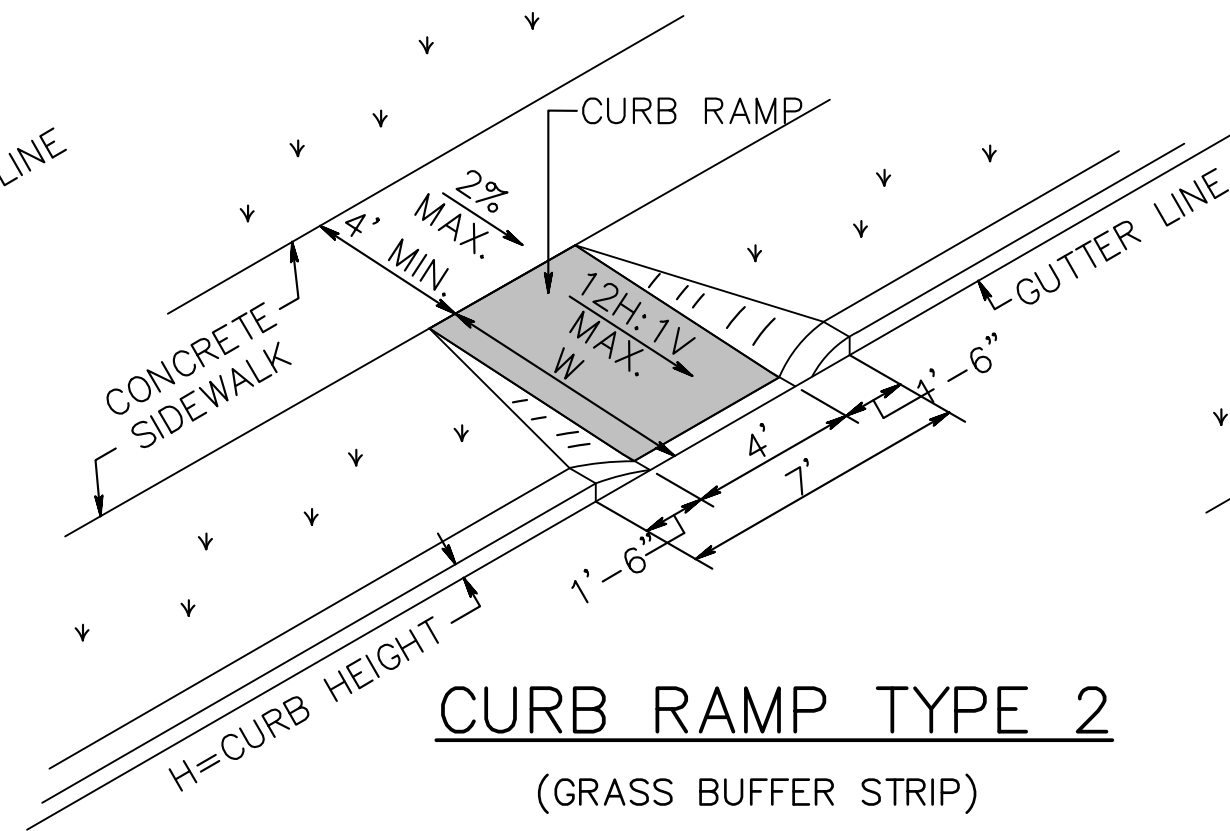
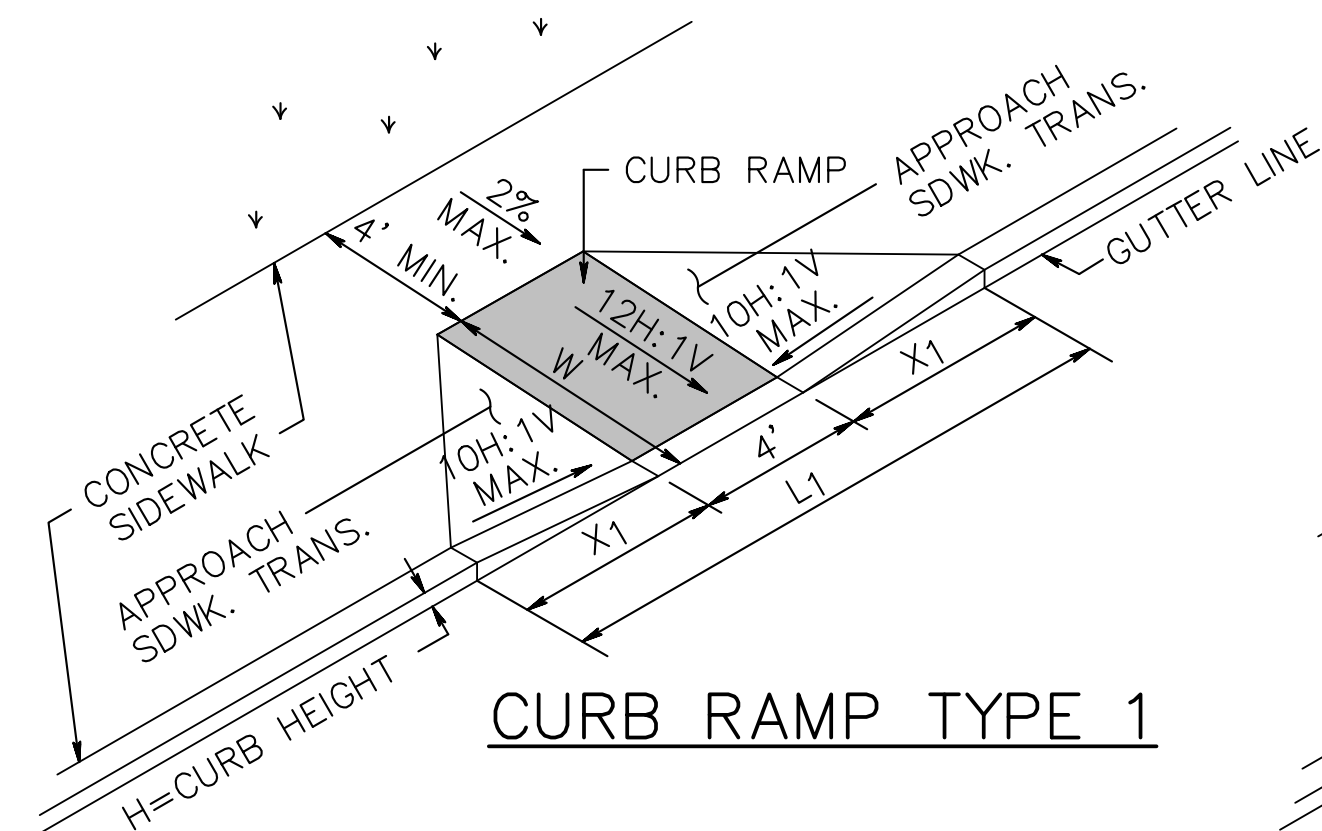


DETECTABLE WARNING SURFACE

CD-606-1.1



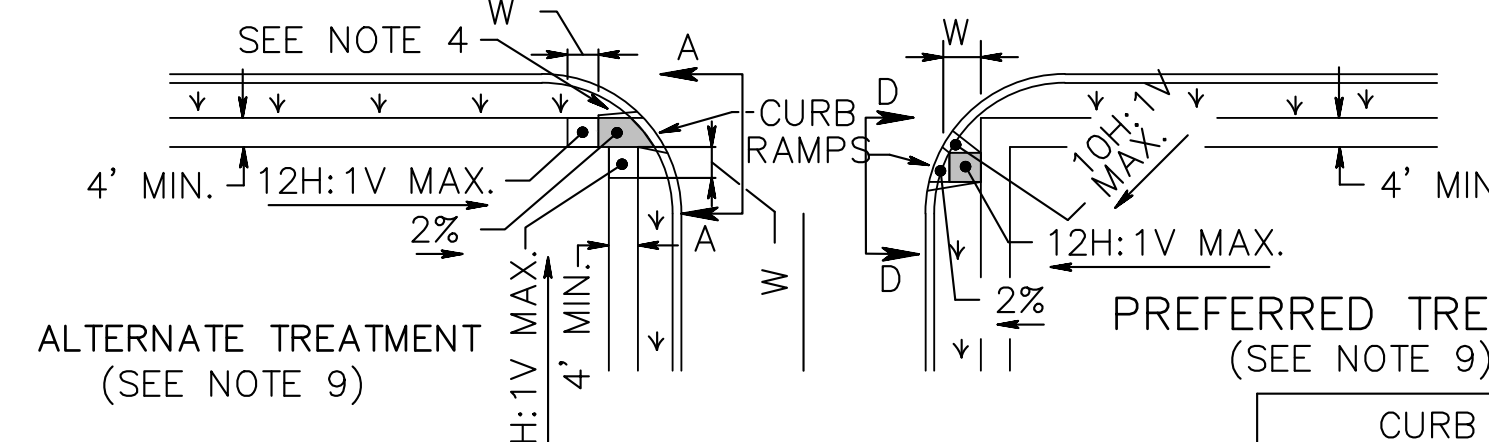
LOCATION OF CURB RAMP TYPES 1, 2, 3, 4 & 7 FOR CROSSING PARALLEL AND PERPENDICULAR TO HIGHWAY



CURB RAMP TYPE 5 (CROSSING PARALLEL TO HIGHWAY ONLY)

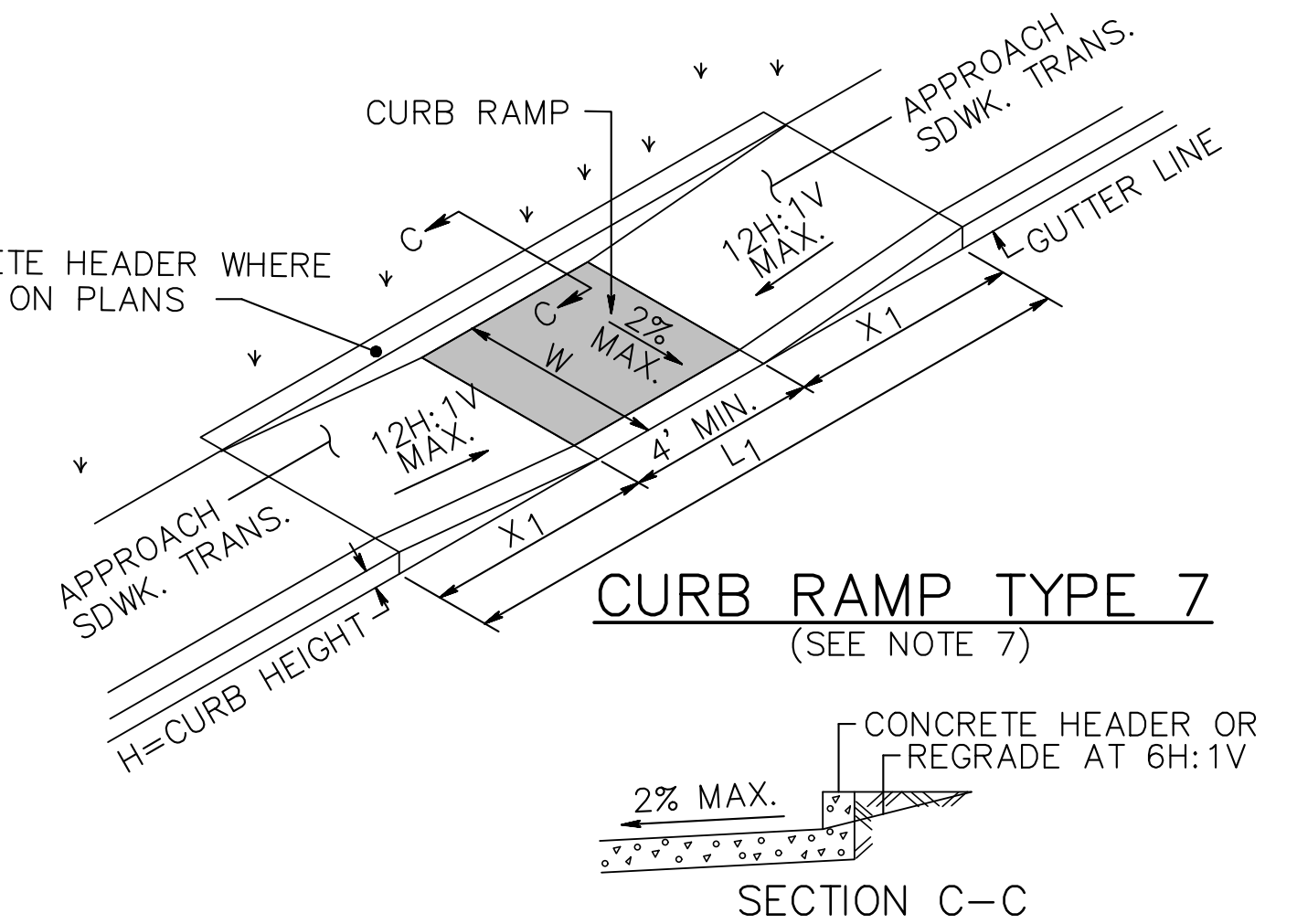
| CURB RAMP TYPE 1 | | | | |
|------------------|---------|---------|--------|--------|
| H INCHES | X1 FEET | L1 FEET | Y FEET | W FEET |
| 3 | 2.5 | 9.0 | 3 | 3 |
| 4 | 3.3 | 10.6 | 4 | 4 |
| 5 | 4.2 | 12.4 | 5 | 5 |
| 6 | 5.0 | 14.0 | 6 | 6 |
| 7 | 5.8 | 15.6 | 7 | 7 |
| 8 | 6.7 | 17.4 | 8 | 8 |
| 9 | 7.5 | 19.0 | 9 | 9 |

| CURB RAMP TYPE 2, 5 OR 6 | |
|--------------------------|--------|
| H INCHES | W FEET |
| 3 | 3 |
| 4 | 4 |
| 5 | 5 |
| 6 | 6 |
| 7 | 7 |
| 8 | 8 |
| 9 | 9 |



CURB RAMP TYPE 6 (CROSSING PARALLEL TO HIGHWAY ONLY)

| CURB RAMP TYPE 7 | | | |
|------------------|----------|---------|---------|
| W FEET | H INCHES | X1 FEET | L1 FEET |
| 4 MIN. 6 MAX. | 3 | 3 | 11 |
| | 4 | 4 | 13 |
| | 5 | 5 | 15 |
| | 6 | 6 | 17 |
| | 7 | 7 | 19 |
| | 8 | 8 | 21 |
| | 9 | 9 | 23 |

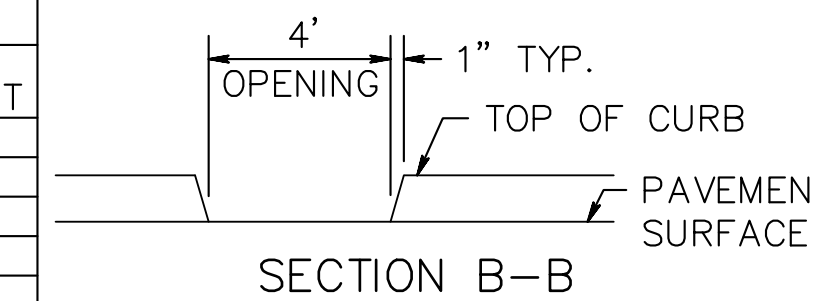


SECTION C-C

GENERAL NOTES:

- LANDING AREA, APPROACH SIDEWALK TRANSITIONS, AND CURB RAMP SHALL BE KEPT CLEAR OF OBSTRUCTIONS.
- DIMENSIONS SHOWN IN TABLES ARE FOR RELATIVELY FLAT SIDEWALK AREAS. CARE SHOULD BE TAKEN WHEN DETERMINING CURB RAMP SIZE BASED ON CURB HEIGHT (H) WHERE ELEVATION OF CURB AND SIDEWALK VARY DRASTICALLY IN AREA OF PROPOSED CURB RAMP.
- CURB (DROPPED CURB) GUTTERLINE TO BE FLUSH WITH ROADWAY PAVEMENT A MINIMUM OF 4 FEET AT ALL CURB RAMP.
- FOR CURB RAMP TYPES 5 AND 6, IF A GRASS BUFFER DOES NOT EXIST, SLOPE CURB TO EQUAL SLOPE OF ADJACENT CURB RAMP.
- SIDEWALK AND CURB RAMP WITHIN AREA ENCLOSED BY HEAVY LINES TO BE PAID FOR AS CONCRETE SIDEWALK OF THE APPROPRIATE ADJACENT THICKNESS.
- CURB AND HEADER WITHIN AREA ENCLOSED BY HEAVY LINES TO BE PAID FOR AS VERTICAL CURB OR SLOPING CURB OF THE APPROPRIATE ADJACENT SIZE AND KIND.
- WHERE THE DISTANCE FROM THE GUTTER LINE TO THE OUTSIDE EDGE OF SIDEWALK IS 6 FEET OR LESS, CURB RAMP TYPE 7 SHOULD BE USED, INSTEAD OF CURB RAMP TYPE 1 THROUGH 4.
- CROSSWALKS AND STOP LINES MAY BE MARKED OR UNMARKED, SEE PLANS.
- PREFERRED AND ALTERNATE TREATMENTS SHOULD NOT BE INTERMIXED WITHIN THE SAME INTERSECTION.
- DIMENSIONS SHOWN IN TABLES ARE FOR 3 INCH TO 9 INCH CURB HEIGHTS. WHERE THE CURB HEIGHTS ARE OTHER THAN WHAT IS PROVIDED IN THE TABLES, THE DIMENSIONS OF THE RAMPS WILL HAVE TO BE CALCULATED BASED ON CROSS SLOPES SHOWN.

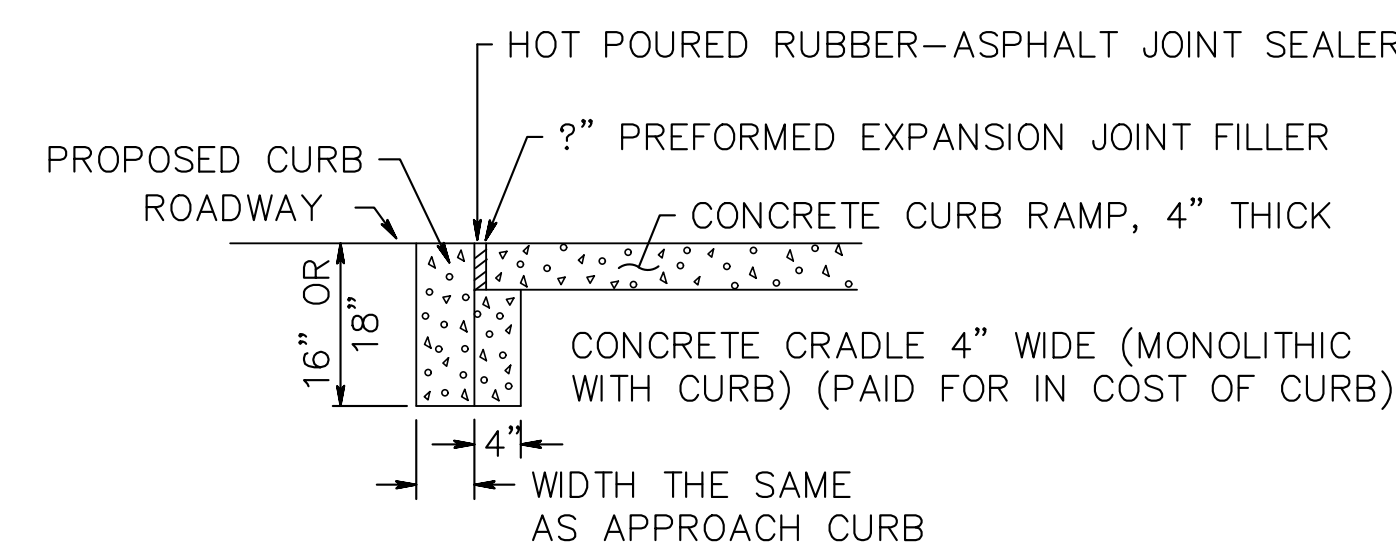
ISLAND WALKWAY OPENING AT INTERSECTIONS



NOTE:
4' WIDE OPENING TO BE FLUSH WITH ROADWAY PAVEMENT

PUBLIC SIDEWALK CURB RAMP DETECTABLE WARNING SURFACE

N.T.S.
HMA = HOT MIX ASPHALT

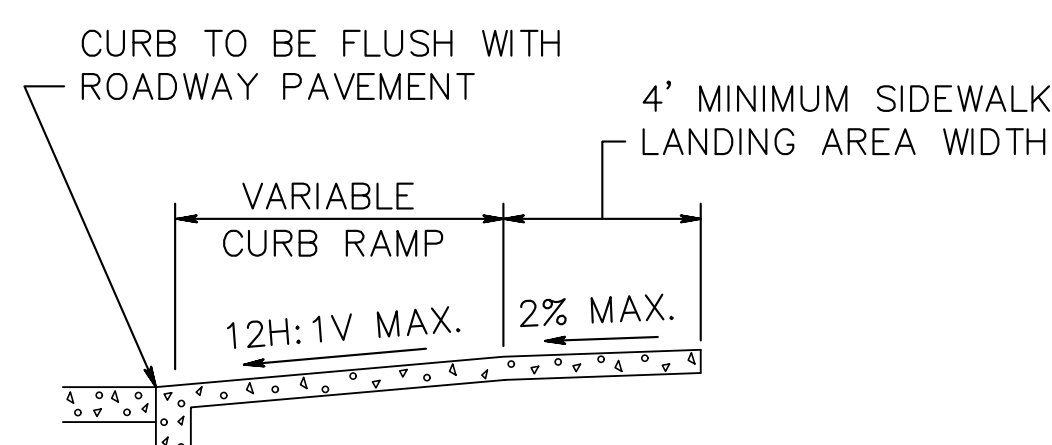


DROPPED CURB AND CRADLE

| CURB RAMP TYPE 3 | | | | | | |
|------------------|----------|---------|---------|----------|---------|---------|
| W FEET | H INCHES | X1 FEET | L1 FEET | Y INCHES | X2 FEET | L2 FEET |
| 2.5 | 3 | 2.5 | 9 | 2.5 | 0.5 | 5 |
| | 4 | 3.3 | 10.6 | 2.5 | 1.5 | 7 |
| | 5 | 4.2 | 12.4 | 2.5 | 2.5 | 9 |
| | 6 | 5.0 | 14.0 | 2.5 | 3.5 | 11 |
| | 7 | 5.8 | 15.6 | 2.5 | 4.5 | 13 |
| | 8 | 6.7 | 17.4 | 2.5 | 5.5 | 15 |
| | 9 | 7.5 | 19.0 | 2.5 | 6.5 | 17 |
| 3.0 | 3 | * | * | * | * | * |
| | 4 | 3.3 | 10.6 | 3.0 | 1 | 6 |
| | 5 | 4.2 | 12.4 | 3.0 | 2 | 8 |
| | 6 | 5.0 | 14.0 | 3.0 | 3 | 10 |
| | 7 | 5.8 | 15.6 | 3.0 | 4 | 12 |
| | 8 | 6.7 | 17.4 | 3.0 | 5 | 14 |
| | 9 | 7.5 | 19.0 | 3.0 | 6 | 16 |
| 3.5 | 3 | * | * | * | * | * |
| | 4 | 3.3 | 10.6 | 3.5 | 0.5 | 5 |
| | 5 | 4.2 | 12.4 | 3.5 | 1.5 | 7 |
| | 6 | 5.0 | 14.0 | 3.5 | 2.5 | 9 |
| | 7 | 5.8 | 15.6 | 3.5 | 3.5 | 11 |
| | 8 | 6.7 | 17.4 | 3.5 | 4.5 | 13 |
| | 9 | 7.5 | 19.0 | 3.5 | 5.5 | 15 |
| 4.0 | 3 | * | * | * | * | * |
| | 4 | * | * | * | * | * |
| | 5 | 4.2 | 12.4 | 4.0 | 1 | 6 |
| | 6 | 5.0 | 14.0 | 4.0 | 2 | 8 |
| | 7 | 5.8 | 15.6 | 4.0 | 3 | 10 |
| | 8 | 6.7 | 17.4 | 4.0 | 4 | 12 |
| | 9 | 7.5 | 19.0 | 4.0 | 5 | 14 |

| CURB RAMP TYPE 4 | | | | |
|------------------|----------|----------|---------|---------|
| W FEET | H INCHES | Y INCHES | X2 FEET | L2 FEET |
| 2.5 | 3 | 2.5 | 0.5 | 5 |
| | 4 | 2.5 | 1.5 | 7 |
| | 5 | 2.5 | 2.5 | 9 |
| | 6 | 2.5 | 3.5 | 11 |
| | 7 | 2.5 | 4.5 | 13 |
| | 8 | 2.5 | 5.5 | 15 |
| | 9 | 2.5 | 6.5 | 17 |
| 3.0 | 3 | ** | ** | ** |
| | 4 | 3.0 | 1 | 6 |
| | 5 | 3.0 | 2 | 8 |
| | 6 | 3.0 | 3 | 10 |
| | 7 | 3.0 | 4 | 12 |
| | 8 | 3.0 | 5 | 14 |
| | 9 | 3.0 | 6 | 16 |
| 3.5 | 3 | ** | ** | ** |
| | 4 | 3.5 | 0.5 | 5 |
| | 5 | 3.5 | 1.5 | 7 |
| | 6 | 3.5 | 2.5 | 9 |
| | 7 | 3.5 | 3.5 | 11 |
| | 8 | 3.5 | 4.5 | 13 |
| | 9 | 3.5 | 5.5 | 15 |
| 4.0 | 3 | ** | ** | ** |
| | 4 | ** | ** | ** |
| | 5 | 4.0 | 1 | 6 |
| | 6 | 4.0 | 2 | 8 |
| | 7 | 4.0 | 3 | 10 |
| | 8 | 4.0 | 4 | 12 |
| | 9 | 4.0 | 5 | 14 |

* TYPE 3 RAMP IS NOT APPLICABLE, USE TYPE 1. ** TYPE 4 RAMP IS NOT APPLICABLE, USE TYPE 2.



SECTION THROUGH CURB RAMPS 1 THROUGH 6

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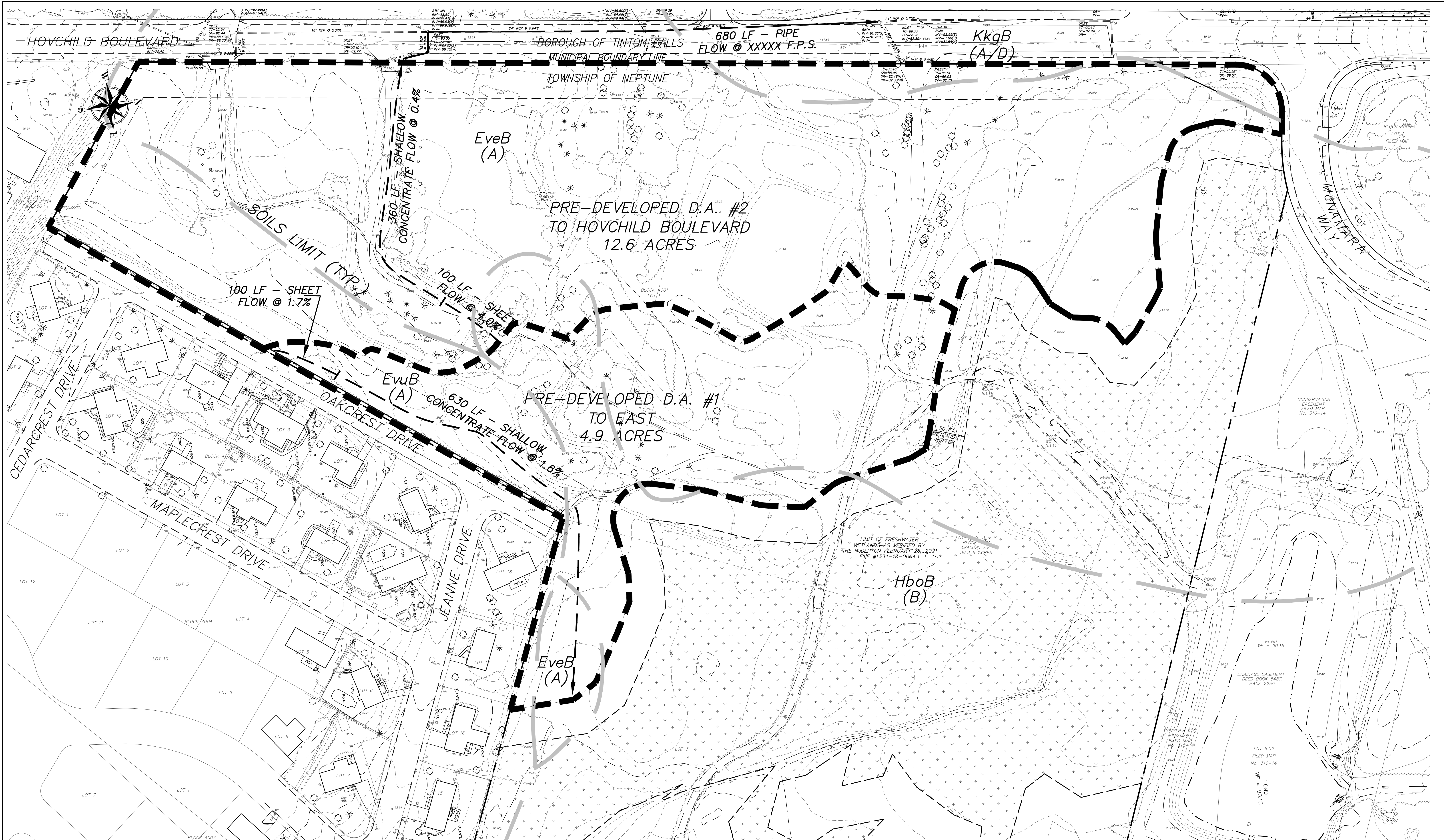
| NO. | DATE | DESCRIPTION | BY |
|-----|---------|---|-----|
| 3 | 11/8/21 | REVISED PER NEPTUNE ZONING BOARD OF ADJUSTMENT ENGINEER | SDC |
| 2 | 8/23/21 | ADDED LOT & BLOCK NUMBERS | SDC |
| 1 | 8/3/21 | REVISED PER N.J.A.C. | SDC |

PDS
PROFESSIONAL DESIGN SERVICES, L.L.C.
CONSULTING ENGINEERS, LAND SURVEYORS, PLANNERS,
ENVIRONMENTAL SCIENTISTS, CONSTRUCTION SERVICES
1245 AIRPORT ROAD, SUITE 1, LAKEWOOD, NEW JERSEY 08701
PHONE: 732-363-0000 FAX: 732-363-0003
ENGINEERING@PDS-NJ.COM WWW.PDS-NJ.COM
NEW JERSEY STATE BOARD OF P.E. & L.S.
CERTIFICATE OF AUTHORIZATION NO. 24GA28125400

WILLIAM A. STEVENS, P.E., P.P.
PROFESSIONAL ENGINEER, NEW JERSEY LIC. #3915
PROFESSIONAL PLANNER, NEW JERSEY LIC. #3794

PRELIMINARY & FINAL MAJOR SUBDIVISION
CONSTRUCTION DETAILS
VICTORIA GARDENS
BLOCK 4001 - LOTS 1, 2 & 3
TOWNSHIP OF NEPTUNE
MONMOUTH COUNTY NEW JERSEY

| | | | |
|--------------|--------------|-------------|-------|
| SCALE: | DATE: | JOB NUMBER: | SHEET |
| NOT TO SCALE | MAY 25, 2021 | 321644 | 23 |
| DRAWN BY: | DESIGNED BY: | CHECKED BY: | |
| SDC | IMB | WAS | 34 |



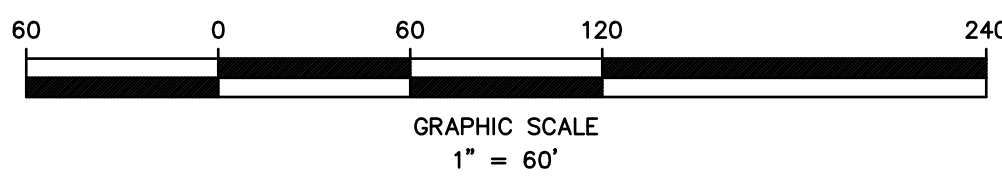
DRAINAGE AREA #1 - 4.9 ACRES

| "A" SOILS | | "B" SOILS | |
|--------------|-------------------|--------------|-------------------|
| IMPERVIOUS | 0.04 ACRES | IMPERVIOUS | 0 |
| WOODS | 3.38 ACRES | WOODS | 0.38 ACRES |
| LAWN | 0.38 ACRES | LAWN | 0.72 ACRES |
| TOTAL | 3.80 ACRES | TOTAL | 1.10 ACRES |

DRAINAGE AREA #2 - 12.6 ACRES

| "A" SOILS | | "B" SOILS | |
|--------------|--------------------|--------------|-------------------|
| IMPERVIOUS | 0.06 | IMPERVIOUS | 0 |
| WOODS | 6.10 ACRES | WOODS | 0.23 ACRES |
| LAWN | 5.53 ACRES | LAWN | 0.13 ACRES |
| TOTAL | 11.69 ACRES | TOTAL | 0.36 ACRES |

| "A/D" SOILS | |
|--------------|-------------------|
| IMPERVIOUS | 0.01 ACRES |
| WOODS | 0.15 ACRES |
| LAWN | 0.39 ACRES |
| TOTAL | 0.55 ACRES |



OWNERSHIP OF DOCUMENTS

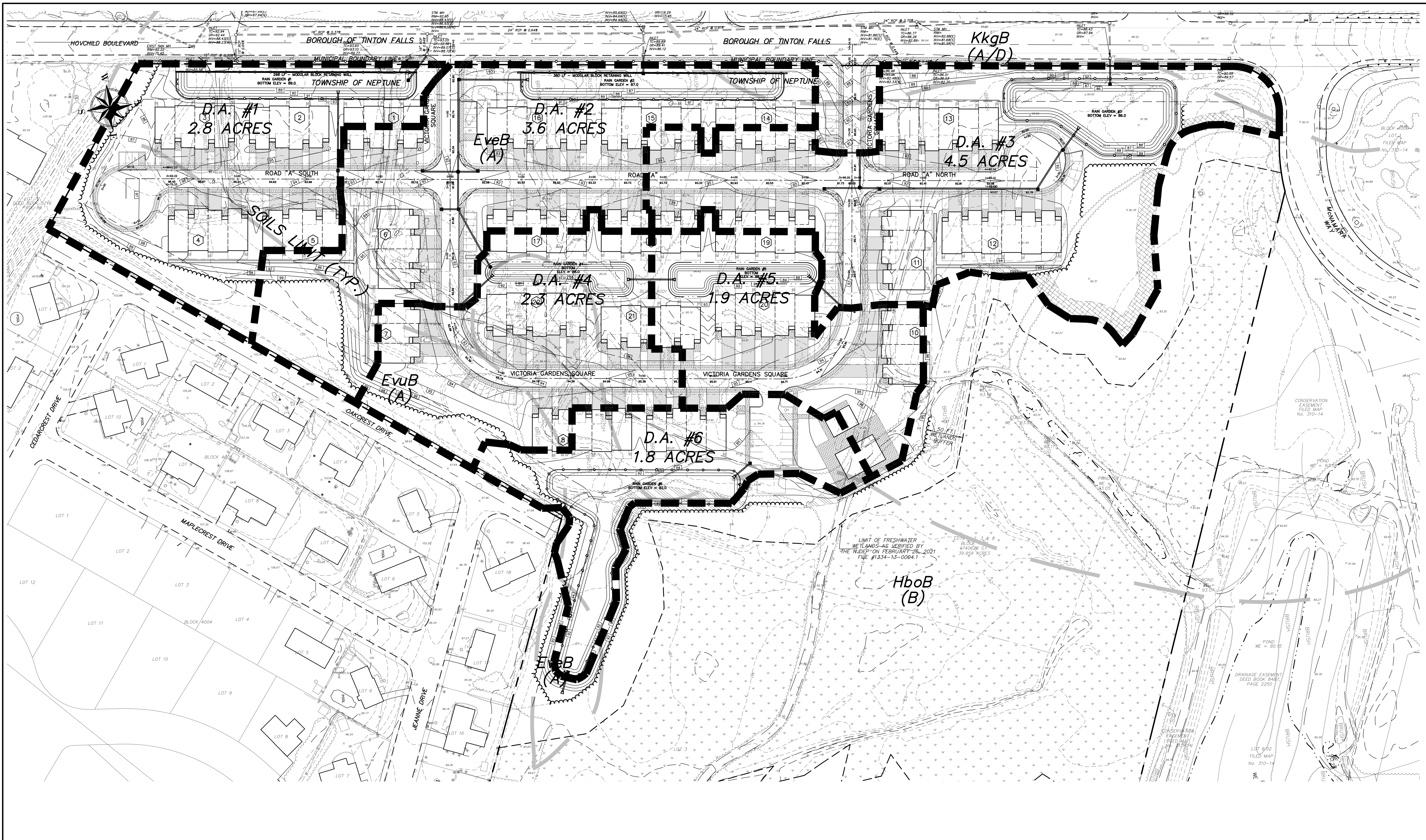
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| NO. | DATE | DESCRIPTION | BY |
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| 2 | 8/23/21 | ADDED LOT & BLOCK NUMBERS | SDC |
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 ENGINEERING@PDS-NJ.COM WWW.PDS-NJ.COM
 NEW JERSEY STATE BOARD OF P.E. & L.S.
 CERTIFICATE OF AUTHORIZATION NO. 24GA28125400
WILLIAM A. STEVENS, P.E., P.P.
 PROFESSIONAL ENGINEER, NEW JERSEY LIC. #39115
 PROFESSIONAL PLANNER, NEW JERSEY LIC. #5394

PRELIMINARY & FINAL MAJOR SUBDIVISION
PRE-DEVELOPED DRAINAGE AREA MAP
VICTORIA GARDENS
 BLOCK 4001 - LOTS 1, 2 & 3
 TOWNSHIP OF NEPTUNE
 MONMOUTH COUNTY NEW JERSEY

| | | | |
|-----------------|--------------------|--------------------|----------|
| SCALE: 1" = 60' | DATE: MAY 25, 2021 | JOB NUMBER: 321644 | SHEET 24 |
| DRAWN BY: SDC | DESIGNED BY: IMB | CHECKED BY: WAS | 34 |



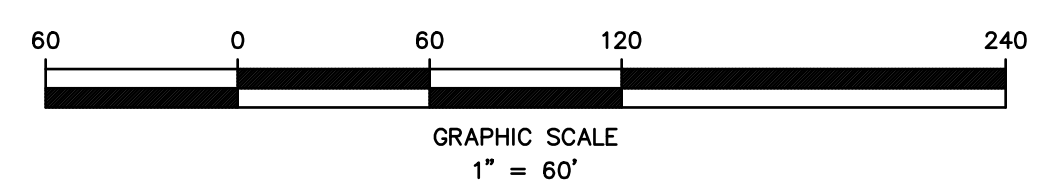
DRAINAGE AREA #1 - 7.7 ACRES (TO EAST)

| "A" SOILS | ACRES | "B" SOILS | ACRES |
|--------------|-------------|--------------|-------------|
| IMPERVIOUS | 2.32 | IMPERVIOUS | 0.47 |
| WOODS | 0.60 | WOODS | 0.00 |
| LAWN | 3.32 | LAWN | 0.99 |
| TOTAL | 6.24 | TOTAL | 1.46 |

DRAINAGE AREA #2 - 9.8 ACRES (TO HOVCHILD BOULEVARD)

| "A" SOILS | ACRES | "B" SOILS | ACRES |
|--------------|-------------|--------------|-------------|
| IMPERVIOUS | 4.20 | IMPERVIOUS | 0.00 |
| WOODS | 0.27 | WOODS | 0.00 |
| LAWN | 4.78 | LAWN | 0.00 |
| TOTAL | 9.25 | TOTAL | 0.00 |

| "A/D" SOILS | ACRES |
|--------------|-------------|
| IMPERVIOUS | 0.05 |
| WOODS | 0.02 |
| LAWN | 0.50 |
| TOTAL | 0.55 |



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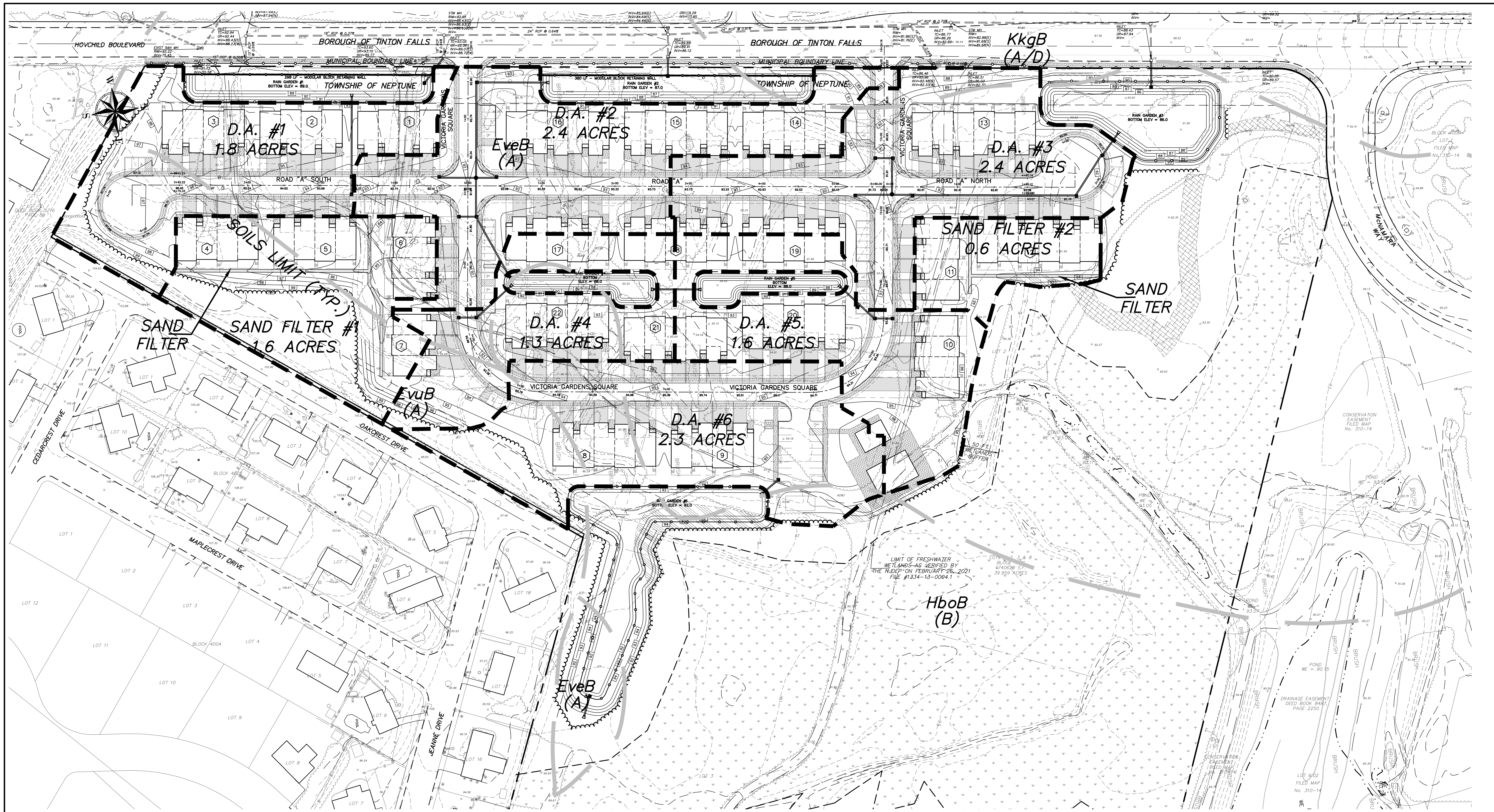
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| 3 | 11/8/21 | REVISED PER NEPTUNE ZONING BOARD OF ADJUSTMENT ENGINEER | SDC |
| 2 | 8/23/21 | ADDED LOT & BLOCK NUMBERS | SDC |
| 1 | 8/3/21 | REVISED PER NJA/MC | SDC |

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PRELIMINARY & FINAL MAJOR SUBDIVISION
POST-DEVELOPED DRAINAGE AREA MAP
VICTORIA GARDENS
 BLOCK 4001 - LOTS 1, 2 & 3
 TOWNSHIP OF NEPTUNE
 MONMOUTH COUNTY NEW JERSEY

| | | | |
|-----------------|--------------------|--------------------|----------|
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NOTE:
GREEN INFRASTRUCTURE DRAINAGE AREAS DO NOT INCLUDE STORMWATER BASINS.

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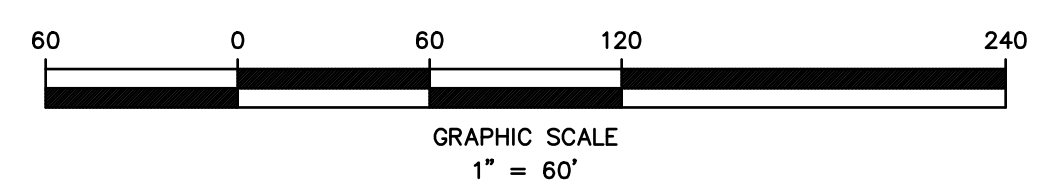
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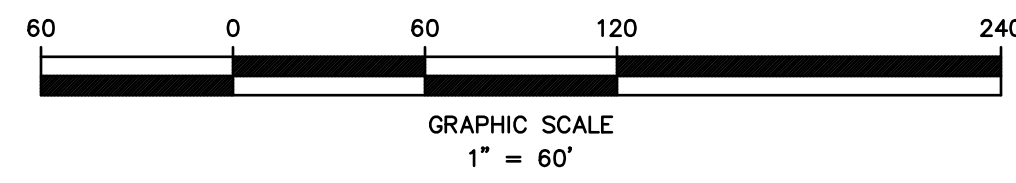
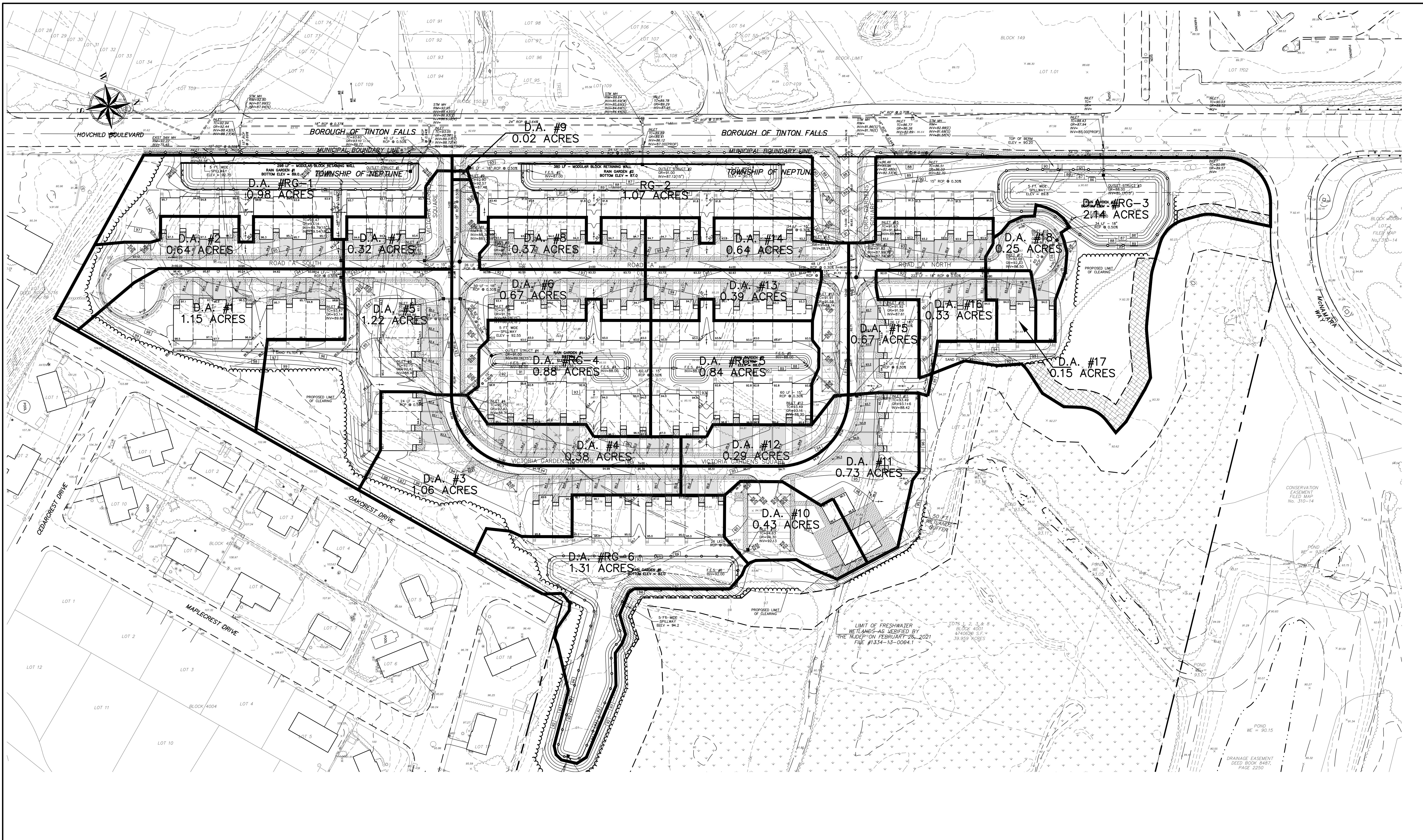
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PRELIMINARY & FINAL MAJOR SUBDIVISION
GREEN INFRASTRUCTURE DRAINAGE
AREA MAP
VICTORIA GARDENS
BLOCK 4001 - LOTS 1, 2 & 3
TOWNSHIP OF NEPTUNE
MONMOUTH COUNTY NEW JERSEY

SCALE: 1" = 60'
DATE: MAY 25, 2021
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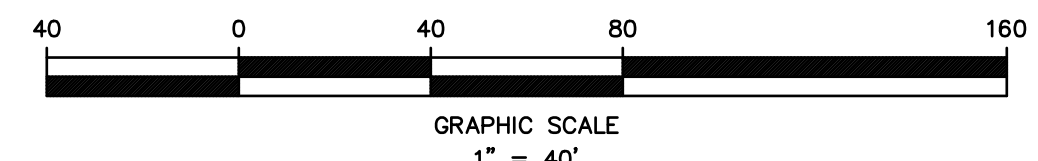
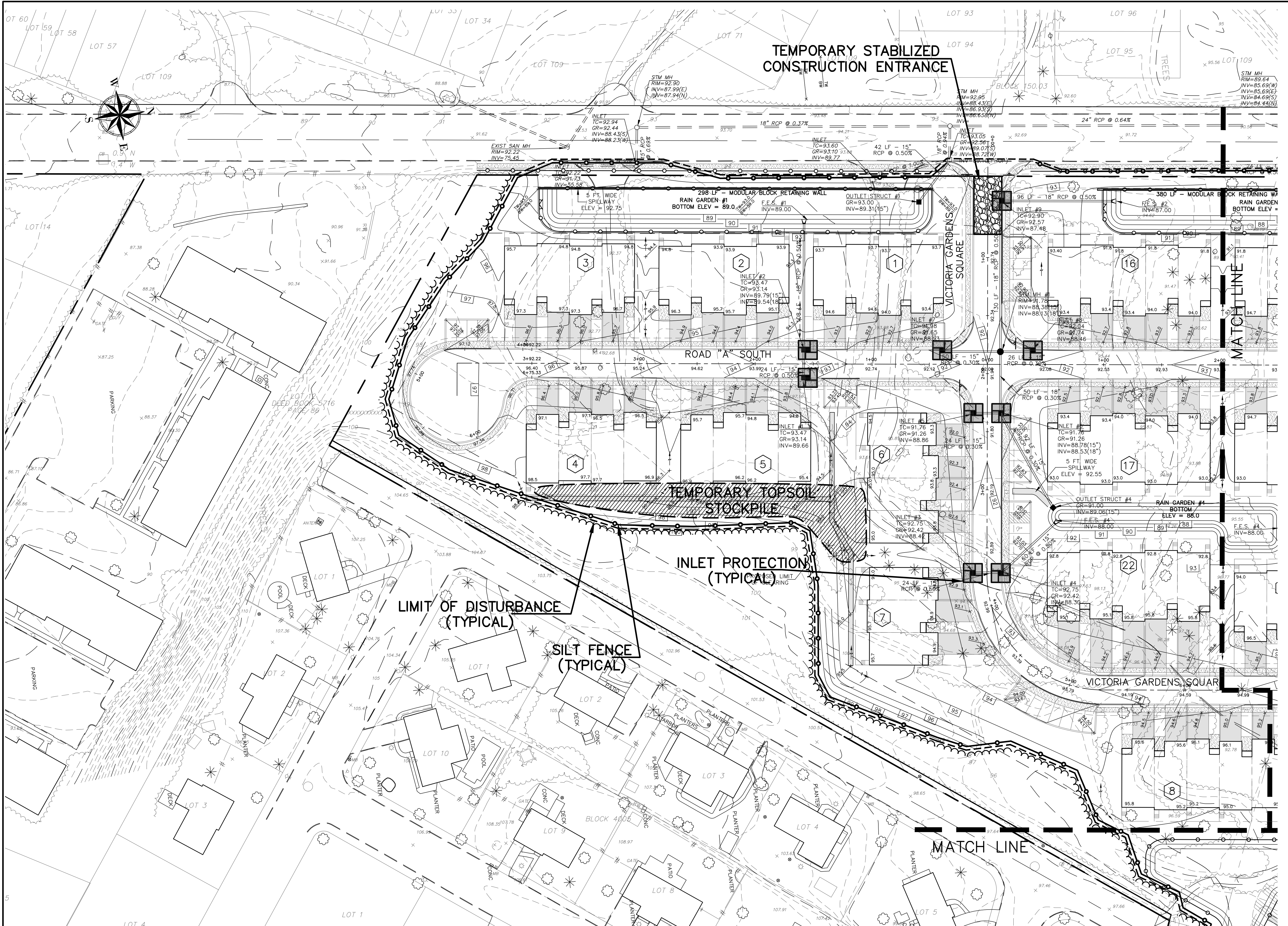
| NO. | DATE | REVISION | DESCRIPTION | BY |
|-----|---------|---|-------------|----|
| 3 | 11/8/21 | REVISED PER NEPTUNE ZONING BOARD OF ADJUSTMENT ENGINEER | SDC | |
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| 1 | 8/3/21 | REVISED PER NJA/C | SDC | |
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**PRELIMINARY & FINAL MAJOR SUBDIVISION
 COLLECTION SYSTEM DRAINAGE AREA MAP
 VICTORIA GARDENS
 BLOCK 4001 - LOTS 1, 2 & 3
 TOWNSHIP OF NEPTUNE
 MONMOUTH COUNTY NEW JERSEY**

| | | | |
|-----------------|--------------------|--------------------|----------|
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**TEMPORARY STABILIZED
CONSTRUCTION ENTRANCE**



**TOTAL AREA OF
DISTURBANCE = 15.6 ACRES**

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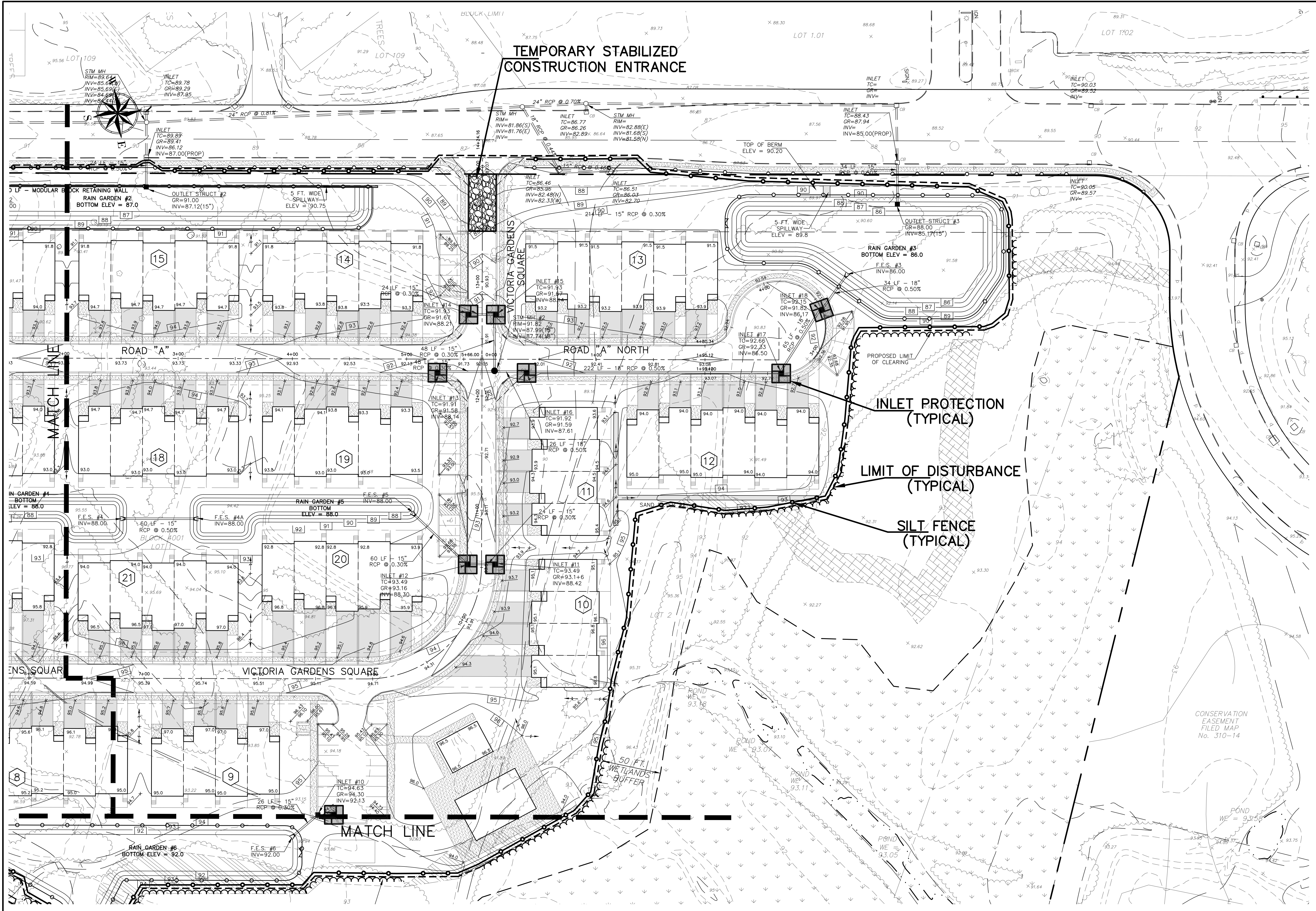
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PRELIMINARY & FINAL MAJOR SUBDIVISION
SOIL EROSION & SEDIMENT CONTROL PLAN
VICTORIA GARDENS
BLOCK 4001 - LOTS 1, 2 & 3
TOWNSHIP OF NEPTUNE
MONMOUTH COUNTY NEW JERSEY

| | | | |
|-----------------|--------------------|--------------------|----------|
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TEMPORARY STABILIZED CONSTRUCTION ENTRANCE



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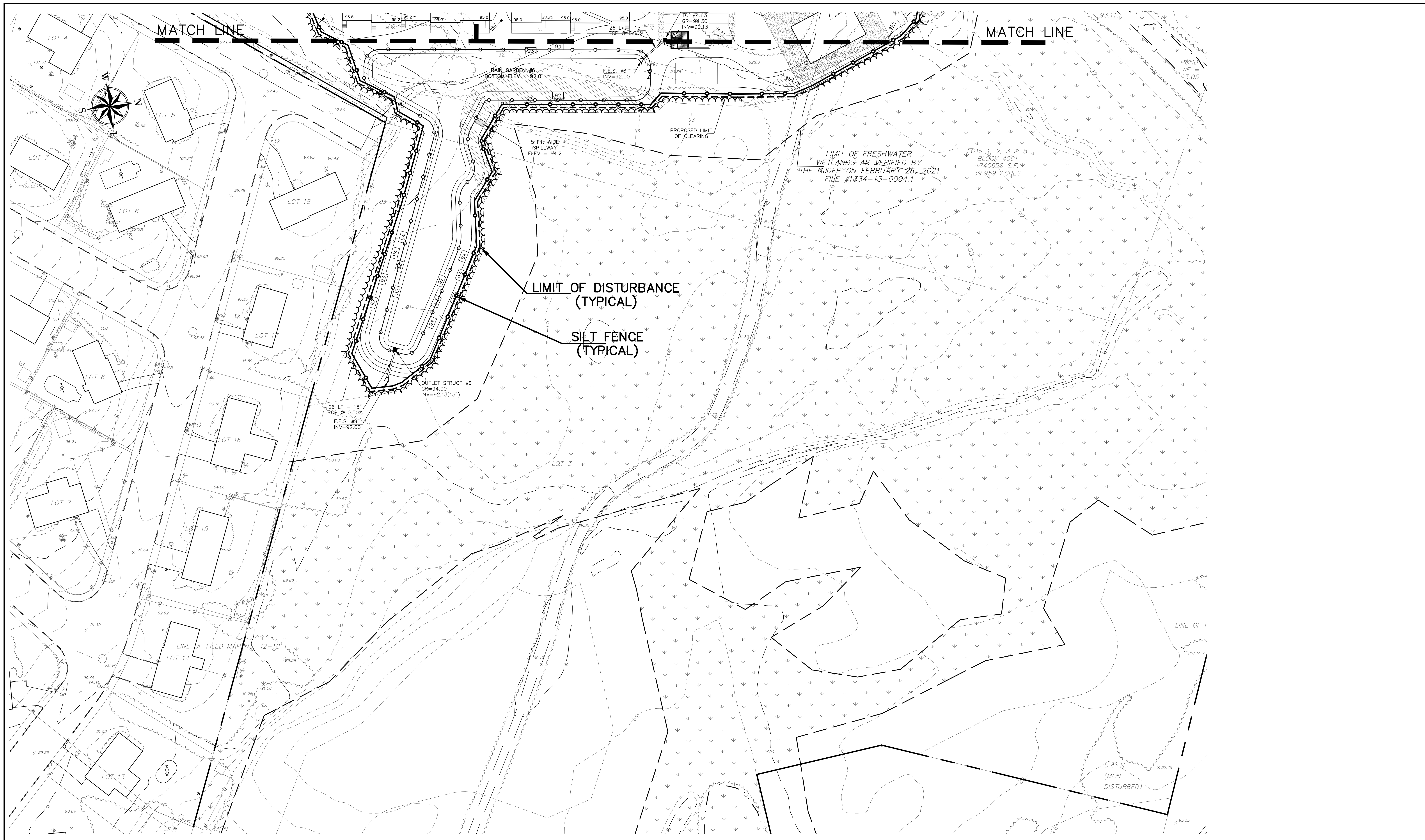
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PRELIMINARY & FINAL MAJOR SUBDIVISION
SOIL EROSION & SEDIMENT CONTROL PLAN
VICTORIA GARDENS
 BLOCK 4001 - LOTS 1, 2 & 3
 TOWNSHIP OF NEPTUNE
 MONMOUTH COUNTY NEW JERSEY

SCALE: 1" = 40'
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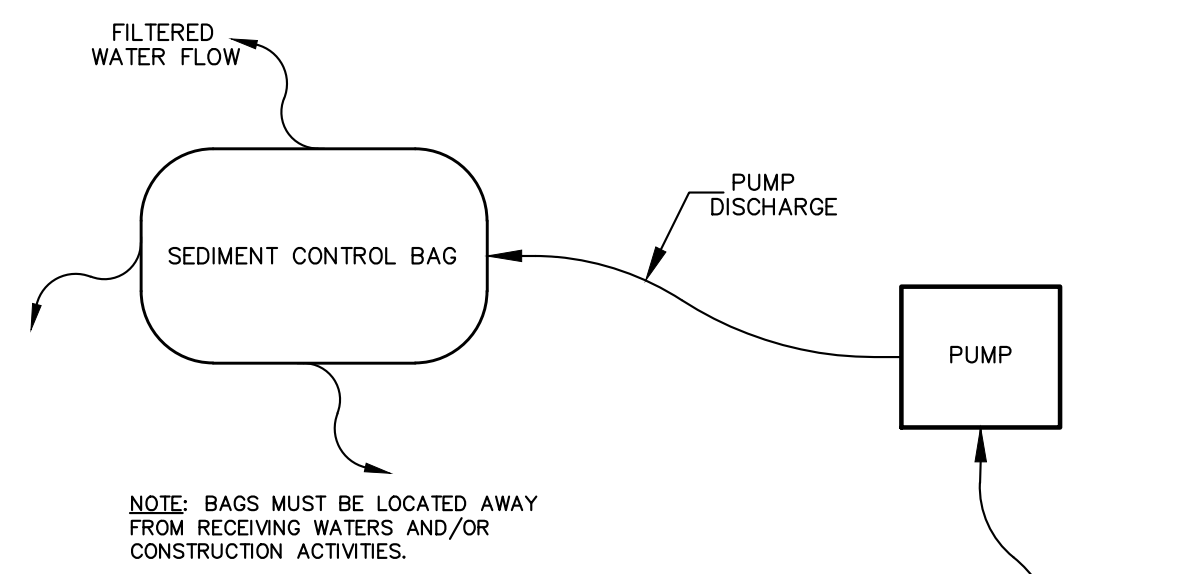
| NO. | DATE | DESCRIPTION | BY |
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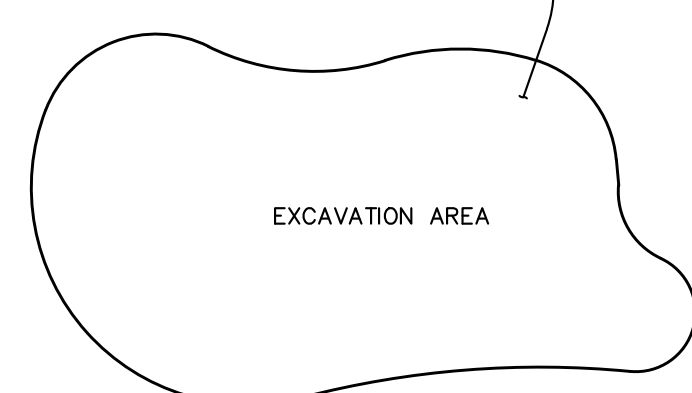
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PRELIMINARY & FINAL MAJOR SUBDIVISION
SOIL EROSION & SEDIMENT CONTROL PLAN
VICTORIA GARDENS
 BLOCK 4001 - LOTS 1, 2 & 3
 TOWNSHIP OF NEPTUNE
 MONMOUTH COUNTY NEW JERSEY

| | | | |
|-----------------|--------------------|--------------------|----------|
| SCALE: 1" = 40' | DATE: MAY 25, 2021 | JOB NUMBER: 321644 | SHEET 29 |
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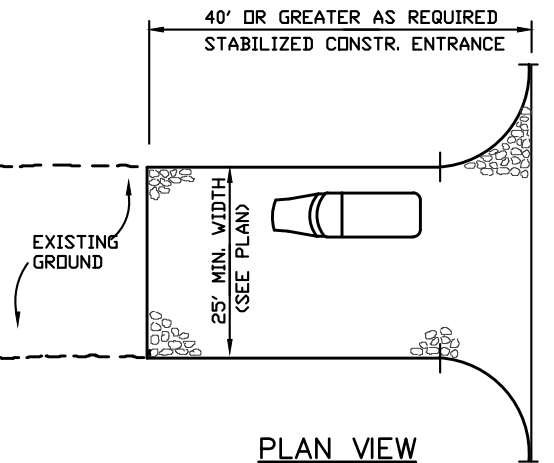
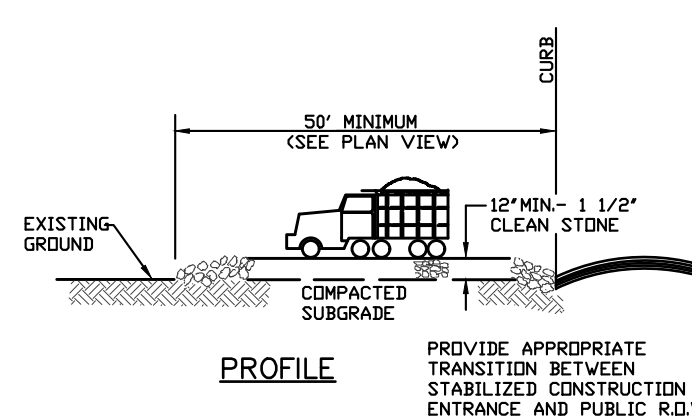


NOTE: BAGS MUST BE LOCATED AWAY FROM RECEIVING WATERS AND/OR CONSTRUCTION ACTIVITIES.



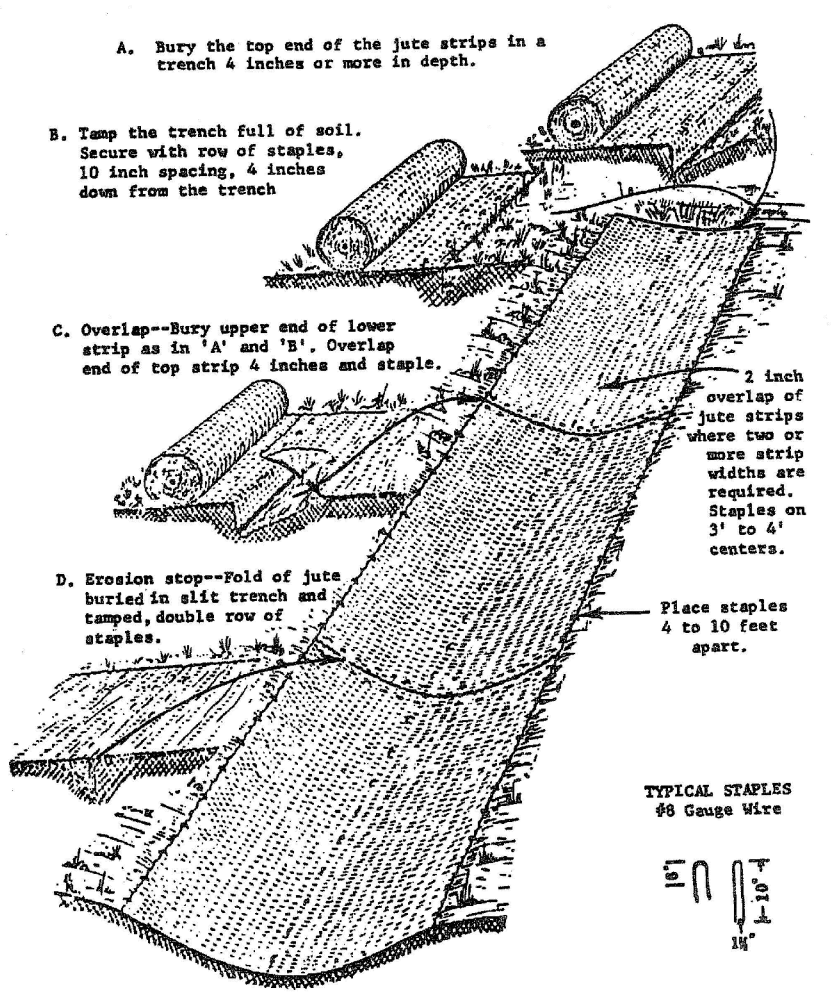
DE-WATERING DETAIL

N.T.S.
BAGS MUST BE DISPOSED OF ACCORDING TO MANUFACTURER'S INSTRUCTIONS BAGS MAY NOT BE REUSED.



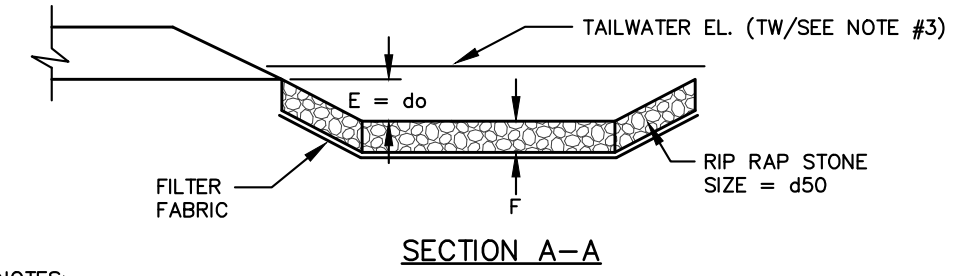
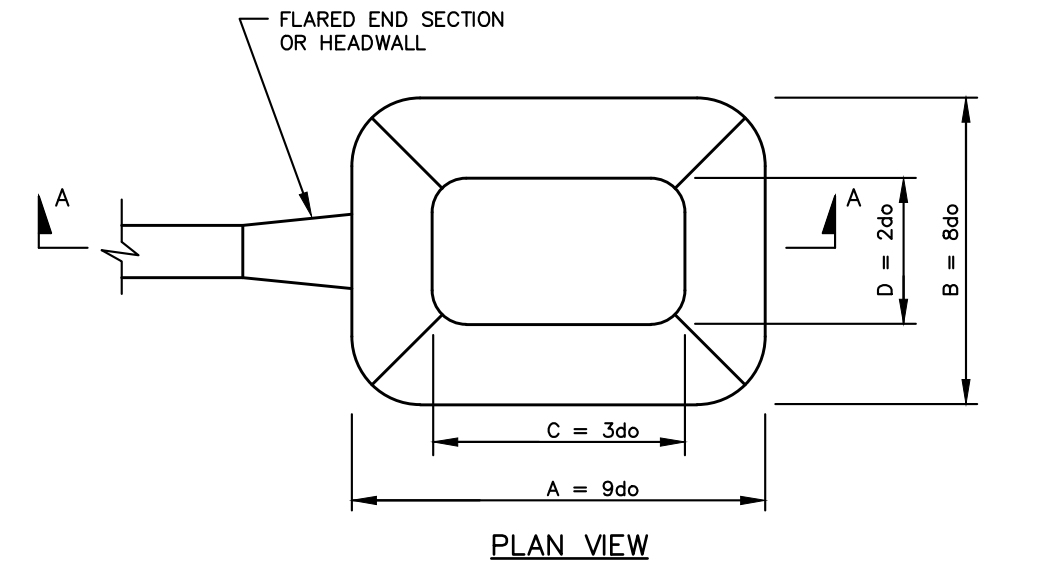
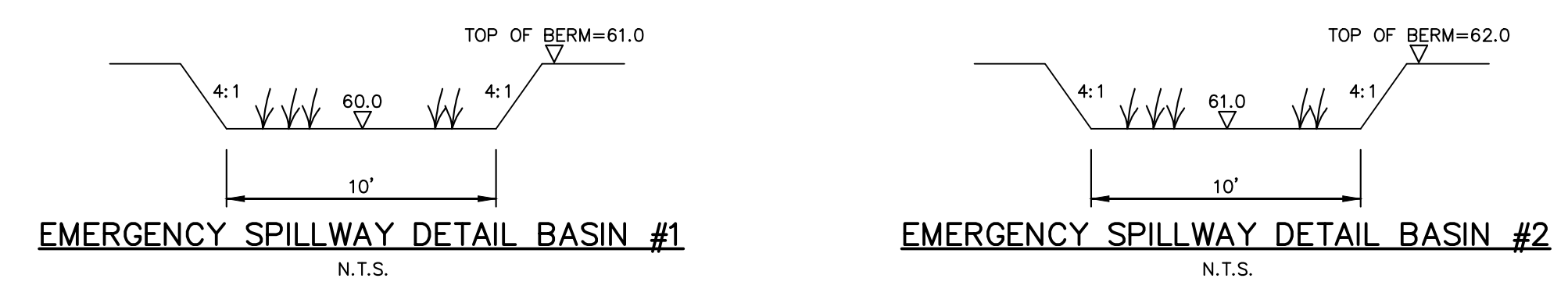
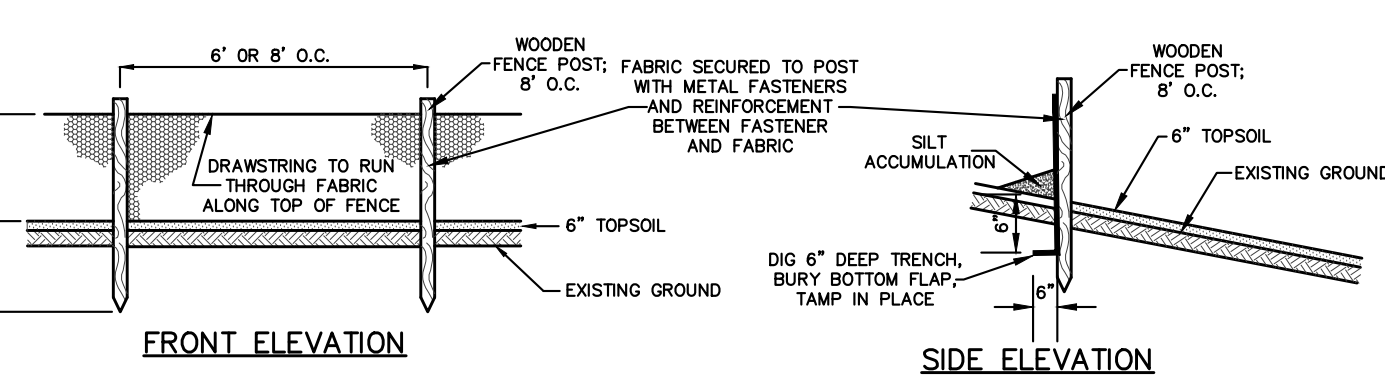
STABILIZED CONSTRUCTION ENTRANCE

Figure A5-1: Typical Installation Detail Using Jute Matting



EROSION CONTROL NETTING DETAIL

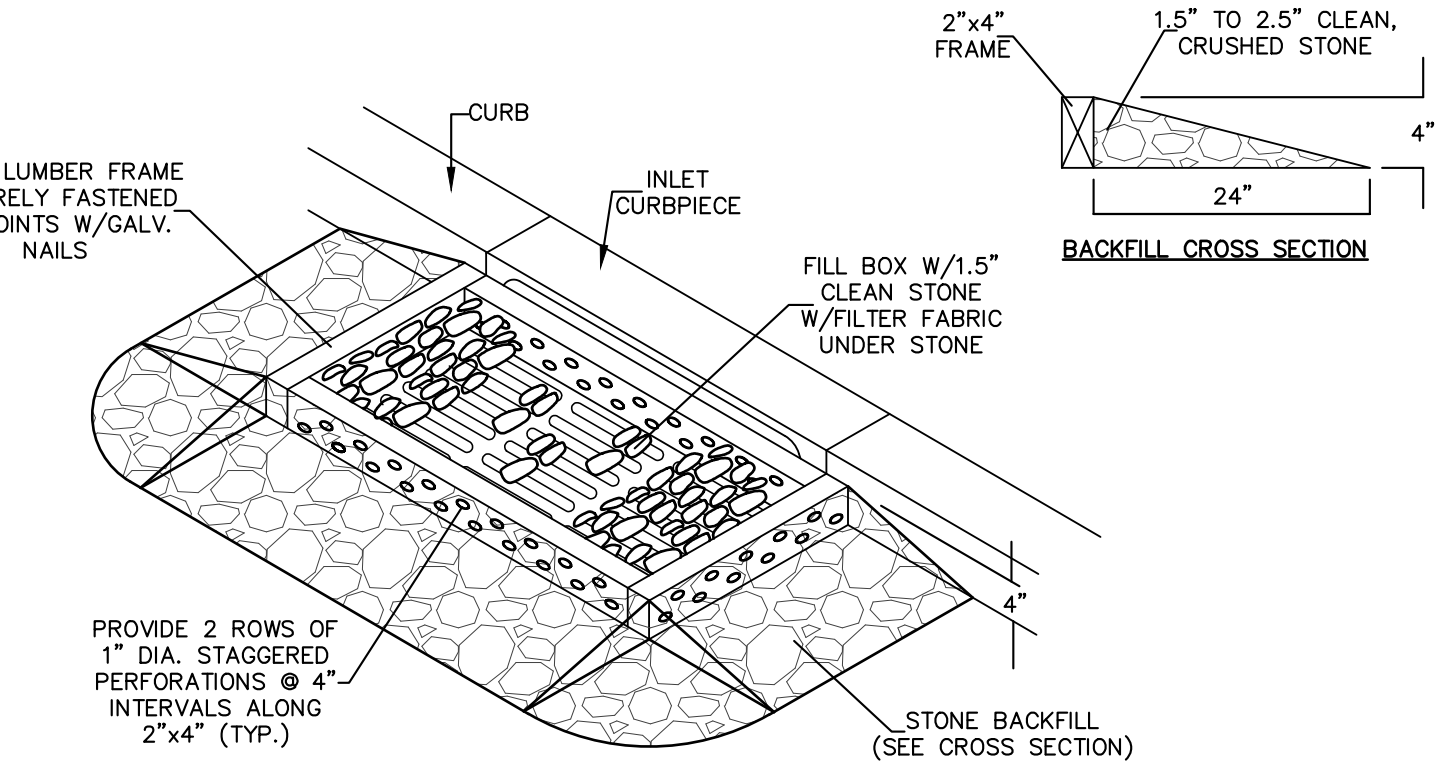
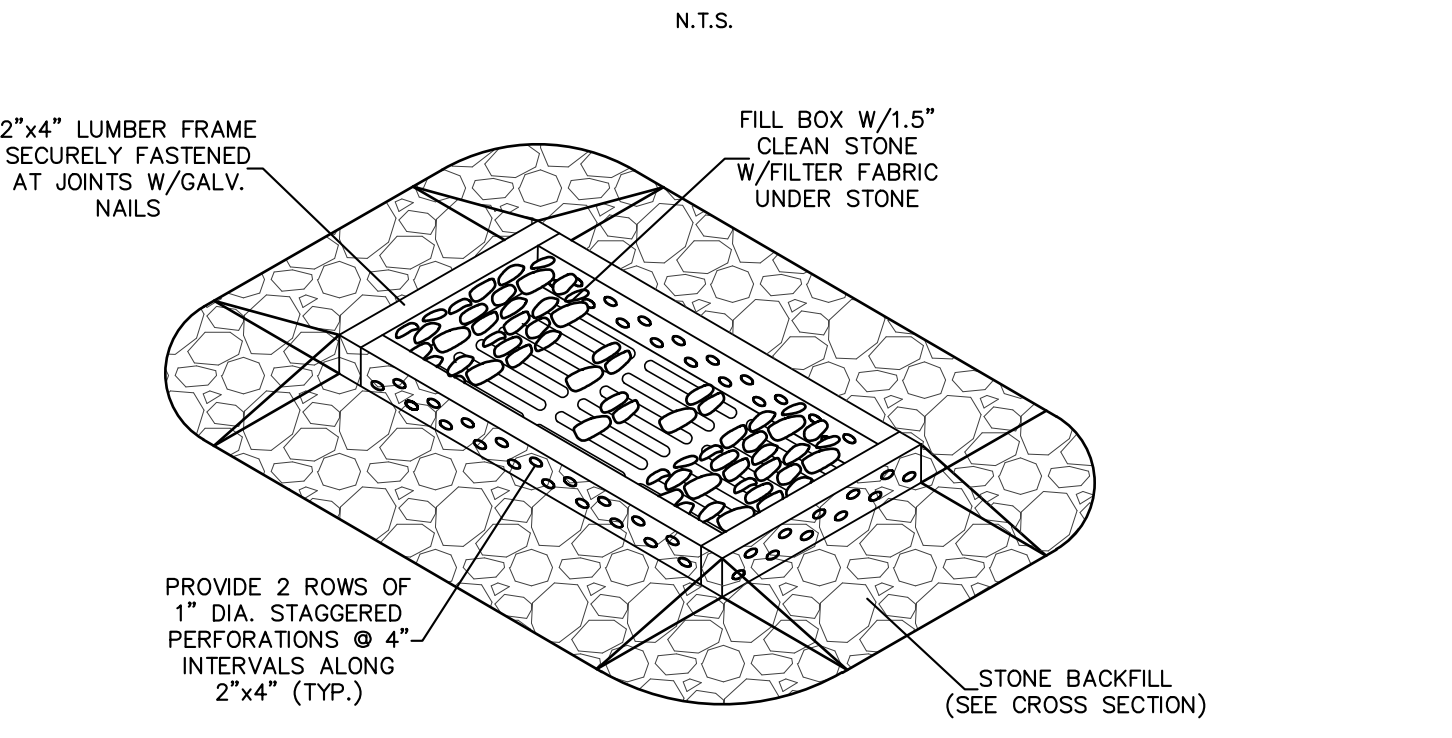
N.T.S.
NOTE: MATING TO BE UTILIZED IF ADDITIONAL EROSION CONTROL MEASURES BECOME NECESSARY.



- NOTES:
1. FOR DESIGN INFORMATION, DIMENSIONS AND RIP RAP SIZE SEE CHART BELOW.
2. STONES FOR RIP RAP SHALL BE COMPOSED OF A WELL GRADED MIXTURE OF DURABLE ROCK SUCH THAT SOME OF THE MIXTURE BY WEIGHT SHALL BE LARGER THAN A d50 STONE DIAMETER THE MIXTURE SHALL CONTAIN A SUFFICIENT MIXTURE OF OTHER STONES TO FILL VOIDS. THE DIAMETER OF THE LARGEST STONE SIZE SHALL BE 1.5 d50.
3. TAILWATER (TW) IS BASED UPON 0.2 x do OR SURFACE WATER ELEVATION, WHICHEVER IS HIGHER.

| FES # | PIPE SIZE | SCOUR HOLE DIMENSIONS | | | | | RIP RAP d50 |
|-------|-----------|-----------------------|-------|------|----|------|-------------|
| | | A | B | C | D | E | |
| 1A | 18" | 13.5' | 12.0' | 4.5' | 3' | 1.5' | 3" 6" |
| 1B | 18" | 13.5' | 12.0' | 4.5' | 3' | 1.5' | 3" 6" |
| 1C | 18" | 13.5' | 12.0' | 4.5' | 3' | 1.5' | 3" 6" |
| 2A | 18" | 13.5' | 12.0' | 4.5' | 3' | 1.5' | 3" 6" |
| 2B | 18" | 13.5' | 12.0' | 4.5' | 3' | 1.5' | 3" 6" |

SCOUR HOLE OUTLET PROTECTION



- NOTES:
1. INLET PROTECTION SHOULD NOT COMPLETELY CLOSE OFF THE INLET.
2. UPON COMPLETION OF PROJECT, INLET PROTECTION SHALL BE REMOVED & SURROUNDING AREA CLEANED, PROVIDED UPSTREAM AREAS ARE STABILIZED.

STANDARD FOR STABILIZATION WITH MULCH ONLY

Definition
Stabilizing exposed soils with non-vegetative materials exposed for periods longer than 14 days.

Purpose
To protect exposed soil surfaces from erosion damage and to reduce offsite environmental damage.

Water Quality Enhancement
Provides temporary mechanical protection against wind or rainfall induced soil erosion until permanent vegetative cover may be established.

Where Applicable
This practice is applicable to areas subject to erosion, where the season and other conditions may not be suitable for growing an erosion-resistant cover or where stabilization is needed for a short period until more suitable protection can be applied.

Methods and Materials

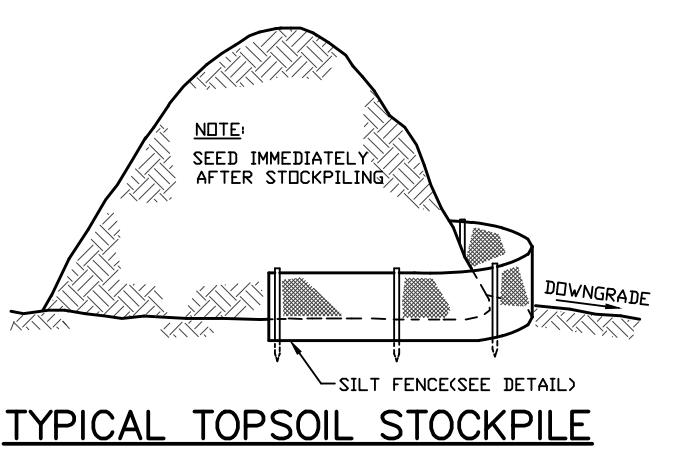
- Site Preparation
 - Grade as needed and feasible to permit the use of conventional equipment for seedbed preparation, seeding, mulch application, and mulch anchoring. All grading should be done in accordance with Standards for Land Grading.
 - Install needed erosion control practices or facilities such as diversions, grade stabilization structures, channel stabilization measures, sediment basins, and waterways. See Standards 11 through 42.
- Protective Materials
 - Unrotted small-grain straw, at 2.0 to 2.5 tons per acre, is spread uniformly at 90 to 115 pounds per 1,000 square feet and anchored with a mulch anchoring tool, liquid mulch binders, or netting tie down. Other suitable materials may be used if approved by the Soil Conservation District. The approved rates above have been met when the mulch covers the ground completely upon visual inspection, i.e. the soil cannot be seen below the mulch.
 - Synthetic or organic soil stabilizers may be used under suitable conditions and in quantities as recommended by the manufacturer.
 - Wood-fiber or paper-fiber mulch at the rate of 1,500 pounds per acre (or according to the manufacturer's requirements) may be applied by a hydroseeder.
 - Mulch netting, such as paper jute, excelsior, cotton, or plastic, may be used.
 - Woodchips applied uniformly to a minimum depth of 2 inches may be used. Woodchips will not be used on areas where flowing water could wash them into an inlet and plug it.

5-1

Return to TOC

G. Gravel, crushed stone, or slag at the rate of 9 cubic yards per 1,000 sq. ft. applied uniformly to a minimum depth of 3 inches may be used. Size 2 or 3 (ASTM C-33) is recommended.

- Mulch Anchoring - should be accomplished immediately after placement of hay or straw mulch to minimize loss by wind or water. This may be done by one of the following methods, depending upon the size of the area and steepness of slopes.
 - Peg and Twine - Drive 8 to 10 inch wooden pegs to within 2 to 3 inches of the soil surface every 4 feet in all directions. Stakes may be driven before or after applying mulch. Secure mulch to soil surface by stretching twine between pegs in a cross-rows and a square pattern. Secure twine around each peg with two or more round turns.
 - Mulch Nettings - Staple paper, cotton, or plastic nettings over mulch. Use degradable netting in areas to be mowed. Netting is usually available in rolls 4 feet wide and up to 300 feet long.
 - Crimper Mulch Anchoring Coupler Tool - A tractor-drawn implement especially designed to punch and anchor mulch into the soil surface. This practice affords maximum erosion control, but its use is limited to those slopes upon which the tractor can operate safely. Soil penetration should be about 3 to 4 inches. On sloping land, the operation should be on the contour.
 - Liquid Mulch-Binders
 - Applications should be heavier at edges where wind catches the mulch, in valleys, and at crests of banks. Remainder of area should be uniform in appearance.
 - Use one of the following:
 - Organic and Vegetable Based Binders - Naturally occurring, powder based, hydrophilic materials that mixed with water formulates a gel and when applied to mulch under satisfactory curing conditions will form membrane networks of insoluble polymers. The vegetable gel shall be physiologically harmless and not result in a phyto-toxic effect or impede growth of turfgrass. Vegetable based gels shall be applied at rates and weather conditions recommended by the manufacturer.
 - Synthetic Binders - High polymer synthetic emulsion, miscible with water when diluted and following application to mulch, drying and curing shall no longer be soluble or dispersible in water. It shall be applied at rates and weather conditions recommended by the manufacturer and remain tacky until germination of grass.



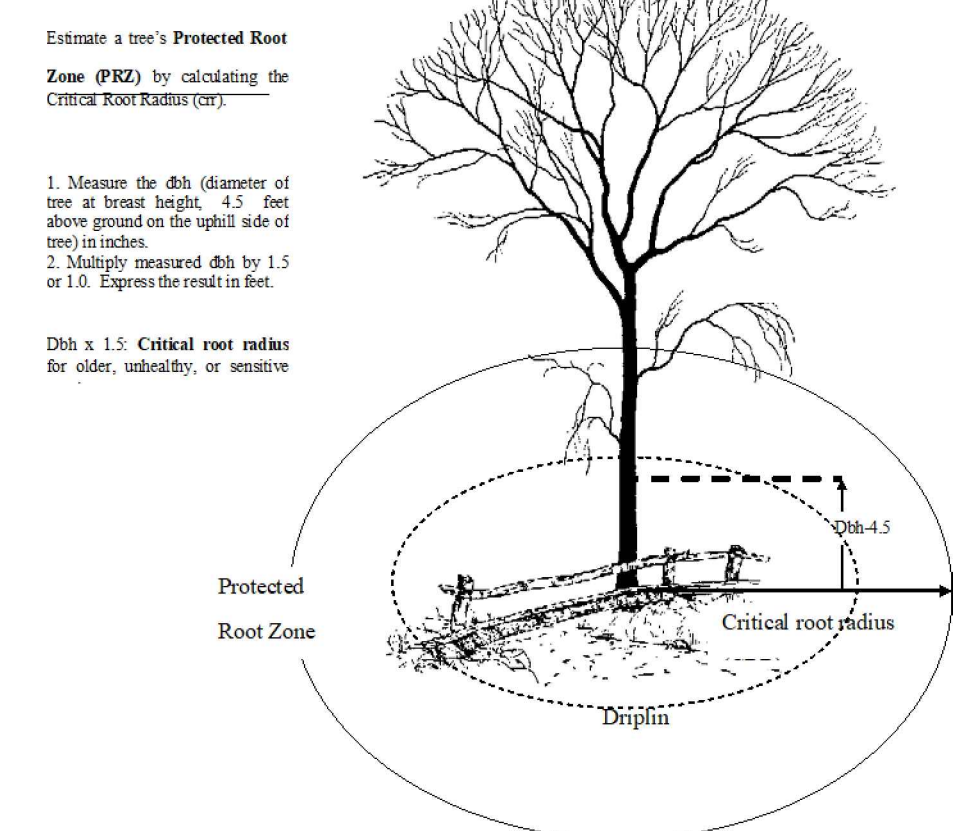
TYPICAL TOPSOIL STOCKPILE

Standards for Soil Erosion and Sediment Control in New Jersey January 2014

PERMANENT VEGETATIVE MIXTURES, PLANTING RATES AND PLANTING DATES¹

| SEED MIXTURE ² | PLANTING RATE ³ | PLANTING DATES. | | | | | | | | | | | | REMARKS | | | |
|---|----------------------------|--|----------|----------|----------|----------|------------|----------|----------|----------------|----------------|---|--|---------|-----|----------------------------------|--|
| | | PLANT HARDINESS ZONES (see Figure 4-1) | | | | | | | | | | | | | | | |
| | | Zone 5b, 6a | | | | | | Zone 6b | | | Zone 7a, 7b | | | | | | |
| | | 3/15-5/31 | 6/1-7/31 | 8/1-10/1 | 3/1-4/30 | 5/1-8/14 | 8/15-10/15 | 2/1-4/30 | 5/1-8/14 | 8/15-10/30 | | | | | | | |
| WARM SEASON SEED MIXTURES | | | | | | | | | | | | | | | | | |
| 4. Switchgrass Big Bluestem Little Bluestem Sand lovegrass Coastal panicgrass | 10 5 5 4 10 | .25 .10 .10 .10 .25 | | | | | | | O | | | | | | C-D | Native warm-season mixture. | |
| COOL SEASON SEED MIXTURES | 130 | 3 | | | | | | | A | A ⁵ | O | | | | | General low-maintenance mixture. | |
| 7. Strong Creeping red fescue Kentucky bluegrass Perennial ryegrass or Redtop plus White clover | 130 50 20 10 5 | 3 1 5 25 10 | | | | | | | | A | A ⁵ | O | | | | B-D | Suitable waterway mix. Canada bluegrass more drought tolerant. Use Redtop for increased drought-tolerance. |
| 8. Tall fescue (turf-type) or Strong Creeping red fescue or Perennial ryegrass Fluepea | 30 30 30 25 | .7 .7 .7 6.0 | | | | | | | O | A ⁶ | | | | | | B-D | Tall fescue best selected for droughty conditions. Use Creeping red fescue in heavy shade. Use Fluepea to suppress woody vegetation. |
| 9. Deertongue Redtop Wild eye (Elymus) Switchgrass | 20 2 15 25 | .45 .05 35 6.0 | | | | | | | | O | | | | | | C-D | Native wet mix. |
| 10. Tall fescue (turf-type) Perennial ryegrass or White clover (see note at right) | 265 20 40 5 | 6 5 25 10 | | | | | | | O | A ⁵ | A ⁵ | | | | | C-D | White clover can be excluded on lawn sites. |
| 11. Kentucky Bluegrass Turf-type Tall fescue | 45 45 22 | 0.25 1 5 | | | | | | | A | A ⁵ | O | | | | | C-D | Filter strip use for nutrient uptake. |
| 12. Turf-type Tall fescue (Blend of 3 cultivars) | 350 | 8 | | | | | | | A | A ⁵ | O | | | | | C-D | Use in a managed filter strip for nutrient uptake. |
| 13. Hard fescue and/or Chewing fescue and/or Strong creeping red fescue Perennial ryegrass Ky. bluegrass (mead) | 175 45 45 | 4 1 1 | | | | | | | A | A ⁵ | O | | | | | A-C | General lawn/recreation. |
| 14. Tall fescue Ky. bluegrass (blend) Perennial ryegrass (blend) | 265 20 20 | 6 0.50 0.50 | | | | | | | | A | A ⁵ | O | | | | A-B | Athletic field/ 3 cultivar mix of Kentucky Bluegrass. |
| 15. Hard fescue Chewings fescue Strong Creeping red fescue Perennial ryegrass | 130 45 45 10 | 3 1 1 25 | | | | | | | | A | A ⁵ | O | | | | C-D | Low-maintenance fine fescue lawn mix. |
| 16. Rough Creeping red fescue | 90 130 | 2.0 3 | | | | | | | | A | A ⁵ | O | | | | C-D | Moist shade. |

NOTE: PERMANENT SEED MIXTURE TO BE #4 OR #10 DEPENDING ON SEASON. OTHER COOL SEASON MIXTURES MAY BE SUBSTITUTED UPON APPROVAL BY FREEHOLD SOIL CONSERVATION DISTRICT.



ROOT PROTECTION DURING CONSTRUCTION GUIDE

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| 2 | 8/23/21 | ADDED LOT & BLOCK NUMBERS | SDC |
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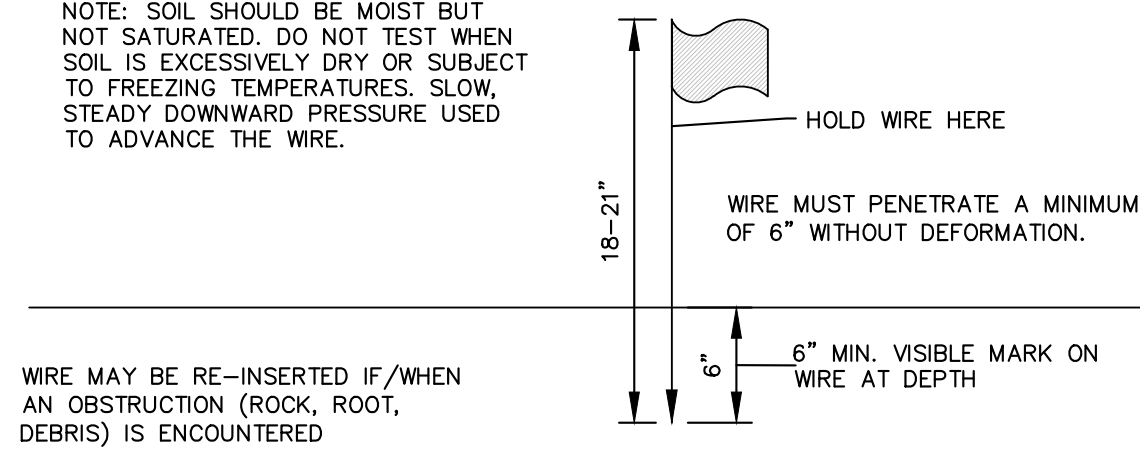
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PRELIMINARY & FINAL MAJOR SUBDIVISION
SOIL EROSION & SEDIMENT CONTROL
DETAILS & NOTES
VICTORIA GARDENS
BLOCK 4001 - LOTS 1, 2 & 3
TOWNSHIP OF NEPTUNE
MONMOUTH COUNTY NEW JERSEY

SCALE: NOT TO SCALE DATE: MAY 25, 2021 JOB NUMBER: 321644 SHEET 31
DRAWN BY: SDC DESIGNED BY: IMB CHECKED BY: WAS 34

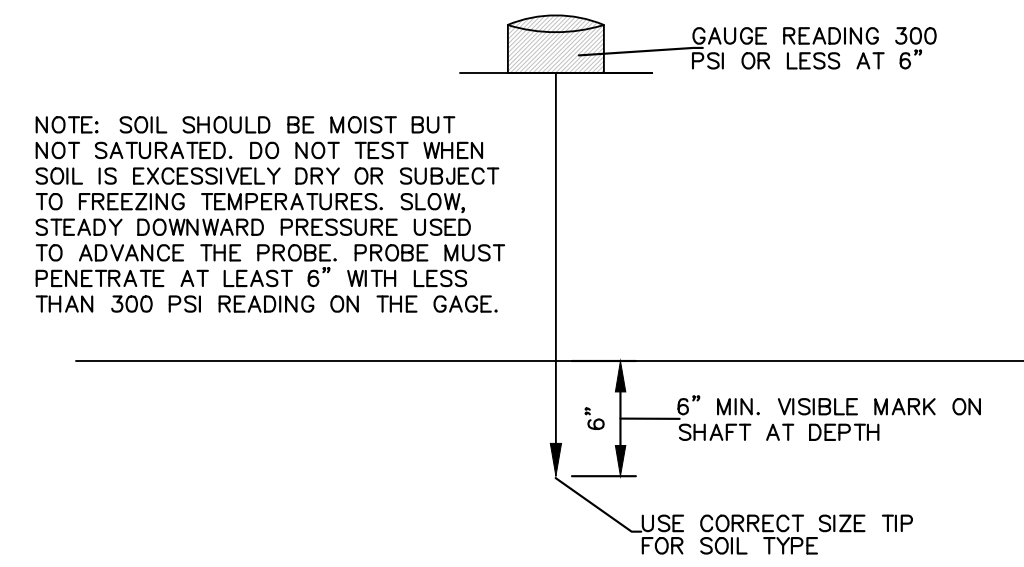
NOTE: SOIL SHOULD BE MOIST BUT NOT SATURATED. DO NOT TEST WHEN SOIL IS EXCESSIVELY DRY OR SUBJECT TO FREEZING TEMPERATURES. SLOW, STEADY DOWNWARD PRESSURE USED TO ADVANCE THE WIRE.



WIRE MAY BE RE-INSERTED IF/WHEN AN OBSTRUCTION (ROCK, ROOT, DEBRIS) IS ENCOUNTERED

PROBING WIRE TEST- 15.5 GA STEEL WIRE (SURVEY FLAG)
N.T.S.

NOTE: SOIL SHOULD BE MOIST BUT NOT SATURATED. DO NOT TEST WHEN SOIL IS EXCESSIVELY DRY OR SUBJECT TO FREEZING TEMPERATURES. SLOW, STEADY DOWNWARD PRESSURE USED TO ADVANCE THE WIRE.

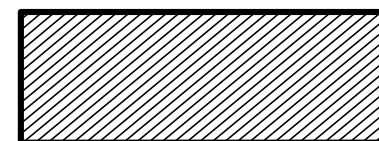


NOTE: SOIL SHOULD BE MOIST BUT NOT SATURATED. DO NOT TEST WHEN SOIL IS EXCESSIVELY DRY OR SUBJECT TO FREEZING TEMPERATURES. SLOW, STEADY DOWNWARD PRESSURE USED TO ADVANCE THE PROBE. PROBE MUST PENETRATE AT LEAST 6\"/>

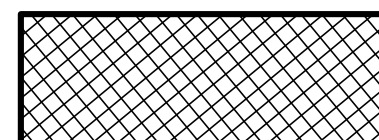
HANDHELD SOIL PENETROMETER TEST
N.T.S.

NOTE: SOIL SHOULD BE MOIST BUT NOT SATURATED. DO NOT TEST WHEN SOIL IS EXCESSIVELY DRY OR SUBJECT TO FREEZING TEMPERATURES. SLOW, STEADY DOWNWARD PRESSURE USED TO ADVANCE THE WIRE.

LEGEND



PORTION OF SITE EXEMPT FROM COMPACTION REMEDIATION & TESTING PURSUANT TO CHAPTER 19 OF S.E.S.C. STANDARDS



PORTION OF AREAS TO BE DISTURBED SUBJECT TO COMPACTION REMEDIATION TESTING PURSUANT TO CHAPTER 19 OF S.E.S.C. STANDARDS

SOIL COMPACTION MITIGATION NOTES

PROCEDURES SHALL BE USED TO MITIGATE EXCESSIVE SOIL COMPACTION PRIOR TO PLACEMENT OF TOPSOIL AND ESTABLISHMENT OF PERMANENT VEGETATIVE COVER.

- RESTORATION OF COMPACTED SOILS SHALL BE THROUGH DEEP SCARIFICATION/TILLAGE (6\"/>
- SOIL COMPACTION TESTING IS NOT REQUIRED IF/WHEN SUBSOIL COMPACTION REMEDIATION (SCARIFICATION/TILLAGE 6\"/>

TOP SOILING NOTES

TOPSOIL SHOULD BE HANDLED ONLY WHEN IT IS DRY ENOUGH TO WORK WITHOUT DAMAGING SOIL STRUCTURE.

- A UNIFORM APPLICATION TO AN AVERAGE DEPTH OF 5\"/>
- PURSUANT TO THE REQUIREMENTS IN SECTION 7 OF THE STANDARD FOR PERMANENT VEGETATIVE STABILIZATION, THE CONTRACTOR IS RESPONSIBLE TO ENSURE THAT PERMANENT VEGETATIVE COVER BECOMES ESTABLISHED ON AT LEAST 80% OF THE SOILS TO BE STABILIZED WITH VEGETATION. FAILURE TO ACHIEVE THE MINIMUM COVERAGE MAY REQUIRE ADDITIONAL WORK TO BE PERFORMED.

ADDITIONAL NOTES FOR PROJECTS WITH BASINS

- BASIN MUST BE PROPERLY CONSTRUCTED AND PERMANENTLY STABILIZED, AND CONDUIT OUTLET PROTECTION INSTALLED, PRIOR TO THE DRAINAGE SYSTEM BECOMING OPERATIONAL.
- THE STANDARDS FOR SOIL EROSION AND SEDIMENT CONTROL HAVE SPECIFIC REQUIREMENTS FOR TOPSOILING, THE INSTALLATION OF SOIL TEMPORARY AND/OR PERMANENT VEGETATIVE COVER AND LAND GRADING. THE TEXT FOUND ON PAGES 4-1 (SEC. 1B), 6-2 (SEC. 2D), 7-1 (SEC. 1C) 8-2 (SEC. 3D) AND 19-4 (SECOND TO LAST SECTION) SERVE TO HELP MINIMIZE SOIL COMPACTION AND REDUCE MAINTENANCE.
- OWNERSHIP AND RESPONSIBILITY FOR THE OPERATION AND MAINTENANCE OF THE DETENTION STRUCTURE MUST BE DETERMINED DURING DESIGN AND SHOWN ON THE PLANS AND ON THE COMPLETED "HYDRAULIC AND HYDROLOGIC DATA BASE SUMMARY FORM." TO BE EFFECTIVE OVER A LONG PERIOD OF TIME, THE STRUCTURE MUST BE PROPERLY MAINTAINED.

SOIL COMPACTION TESTING REQUIREMENTS

SUBGRADE SOILS PRIOR TO THE APPLICATION OF TOPSOIL (SEE PERMANENT SEEDING AND STABILIZATION NOTES FOR TOPSOIL REQUIREMENTS) SHALL BE FREE OF EXCESSIVE COMPACTION TO A DEPTH OF 6.0 INCHES TO ENHANCE THE ESTABLISHMENT OF PERMANENT VEGETATIVE COVER.

- AREAS OF THE SITE WHICH ARE SUBJECT TO COMPACTION TESTING AND/OR MITIGATION ARE GRAPHICALLY DENOTED ON THE CERTIFIED SOIL EROSION CONTROL PLAN. SEE EXAMPLE SITE PLAN AT [HTTP://WWW.NJ.GOV/AGRICULTURE/DIVISIONS/ANR/NRC/NJEROSION.HTML](http://www.nj.gov/agriculture/divisions/anr/nrc/njerosion.html)
- COMPACTION TESTING LOCATIONS ARE DENOTED ON THE PLAN. A COPY OF THE PLAN OR PORTION OF THE PLAN SHALL BE USED TO MARK LOCATION OF TESTS, AND ATTACHED TO THE COMPACTION MITIGATION VERIFICATION FORM, AVAILABLE FROM THE LOCAL SOIL CONSERVATION DISTRICT OR [HTTP://WWW.NJ.GOV/AGRICULTURE/DIVISIONS/ANR/NRC/NJEROSION.HTML](http://www.nj.gov/agriculture/divisions/anr/nrc/njerosion.html). MUST BE FILLED OUT AND SUBMITTED PRIOR TO RECEIVING A CERTIFICATE OF COMPLIANCE FROM THE DISTRICT.
- IN THE EVENT THAT TESTING INDICATES COMPACTION IN EXCESS OF THE MAXIMUM THRESHOLDS INDICATED FOR THE SIMPLIFIED TESTING METHODS (SEE DETAILS BELOW), THE CONTRACTOR/OWNER SHALL HAVE THE OPTION TO PERFORM EITHER (1) COMPACTION MITIGATION OVER THE ENTIRE MITIGATION AREA DENOTED ON THE PLAN (EXCLUDING EXEMPT AREAS), OR (2) PERFORM ADDITIONAL, MORE DETAILED TESTING TO ESTABLISH THE LIMITS OF EXCESSIVE COMPACTION. WHEREUPON ONLY THE EXCESSIVELY COMPACTED AREAS WOULD REQUIRE COMPACTION MITIGATION. ADDITIONAL DETAILED TESTING SHALL BE PERFORMED BY A TRAINED, LICENSED PROFESSIONAL.

COMPACTION TESTING METHODS

- PROBING WIRE TEST (SEE DETAIL)
- HAND-HELD PENETROMETER TEST (SEE DETAIL)
- TUBE BULK DENSITY TEST (LICENSED PROFESSIONAL ENGINEER REQUIRED)
- NUCLEAR DENSITY TEST (LICENSED PROFESSIONAL ENGINEER REQUIRED)

NOTE: ADDITIONAL TESTING METHODS WHICH CONFORM TO ASTM STANDARDS AND SPECIFICATIONS, AND WHICH PRODUCE A DRY WEIGHT, SOIL BULK DENSITY MEASUREMENT MAY BE ALLOWED SUBJECT TO DISTRICT APPROVAL.

SOIL COMPACTION TESTING IS NOT REQUIRED IF/WHEN SUBSOIL COMPACTION REMEDIATION (SCARIFICATION/TILLAGE 6\"/>

PROCEDURES FOR SOIL COMPACTION MITIGATION

PROCEDURES SHALL BE USED TO MITIGATE EXCESSIVE SOIL COMPACTION PRIOR TO PLACEMENT OF TOPSOIL AND ESTABLISHMENT OF PERMANENT VEGETATIVE COVER.

RESTORATION OF COMPACTED SOILS SHALL BE THROUGH DEEP SCARIFICATION/TILLAGE (6\"/>

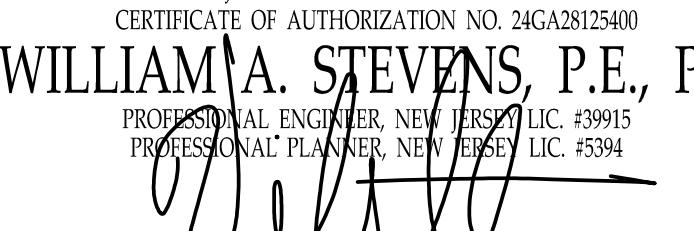
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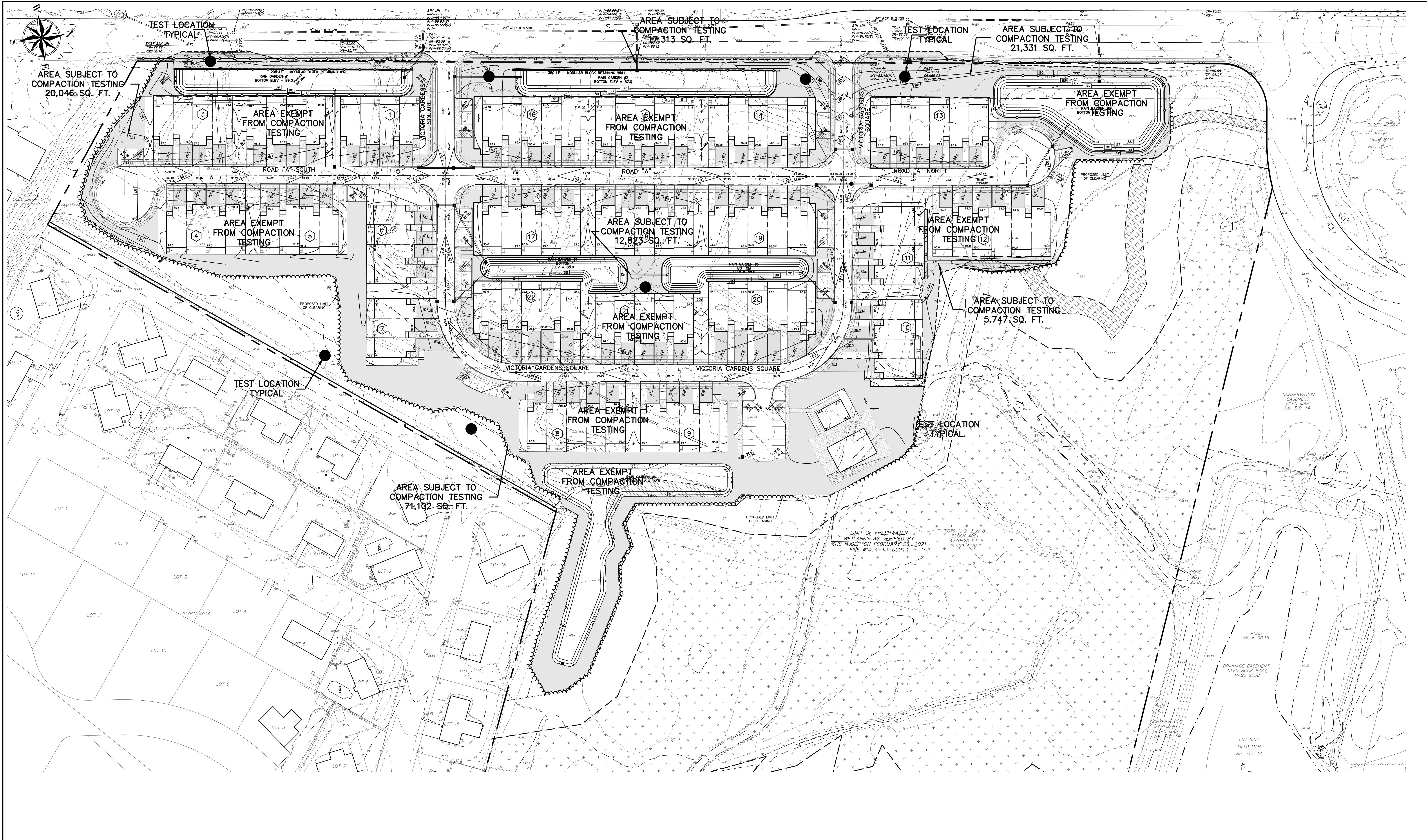
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PRELIMINARY & FINAL MAJOR SUBDIVISION
SOIL EROSION & SEDIMENT CONTROL
DETAILS & NOTES
VICTORIA GARDENS
BLOCK 4001 - LOTS 1, 2 & 3
TOWNSHIP OF NEPTUNE
MONMOUTH COUNTY NEW JERSEY

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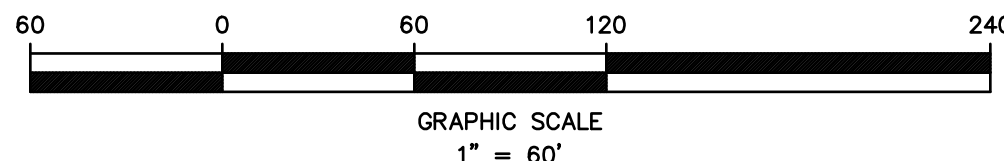
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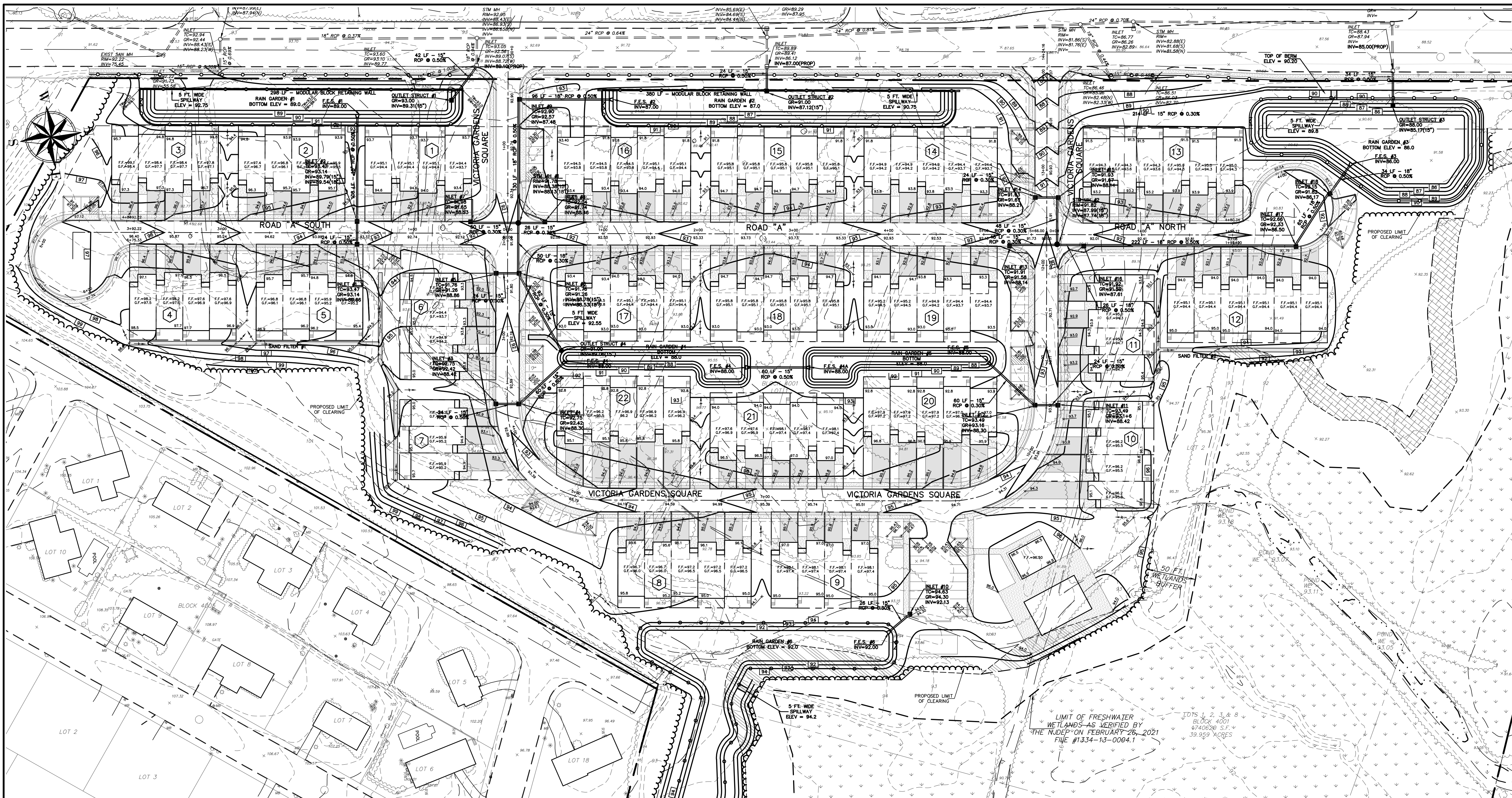
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PRELIMINARY & FINAL MAJOR SUBDIVISION
SOIL RESTORATION PLAN
VICTORIA GARDENS
 BLOCK 4001 - LOTS 1, 2 & 3
 TOWNSHIP OF NEPTUNE
 MONMOUTH COUNTY NEW JERSEY

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MAINTENANCE PLAN CONSIDERATIONS

ACCESS:
 ALL STORMWATER MANAGEMENT MEASURES COMPONENTS MUST BE READILY ACCESSIBLE FOR INSPECTION AND MAINTENANCE. THEREFORE, ACCESS MUST BE PROVIDED TO THE ENTIRE STORMWATER MEASURE VIA ROADWAYS AND PATHS. TREES, SHRUBS, AND UNDERBUSH MUST BE PRUNED OR TRIMMED AS NECESSARY TO MAINTAIN THIS ACCESS. THIS INCLUDES PATHWAYS THROUGH THE VEGETATION ALONG PERMANENT POOL PERIMETERS, INCLUDING AQUATIC BENCHES, TO ALLOW FOR THE INSPECTION AND CONTROL OF MOSQUITO BREEDING.

INSPECTION AND MAINTENANCE EASEMENTS CONNECTED TO THE STREET OR RIGHT-OF-WAY SHOULD BE PROVIDED AROUND THE ENTIRE FACILITY. THE EXACT LIMITS OF THE EASEMENTS AND RIGHTS-OF-WAY SHOULD BE SPECIFIED ON THE PROJECT PLANS AND INCLUDED IN THE MAINTENANCE PLAN. ACCESS ROADS AND GATES SHOULD BE WIDE ENOUGH TO ALLOW PASSAGE OF NECESSARY MAINTENANCE VEHICLES AND EQUIPMENT, INCLUDING TRUCKS, BACKHOES, GRASS MOWERS, AND MOSQUITO CONTROL EQUIPMENT. IN GENERAL, A MINIMUM ACCESS ROADWAY WIDTH OF 12 FEET INSIDE A MINIMUM RIGHT-OF-WAY WIDTH OF 15 FEET IS RECOMMENDED. TO FACILITATE ENTRY, A CURB SHOULD BE PROVIDED WHERE AN ACCESS ROAD MEETS A CURBED ROADWAY.

A CURBED ROADWAY:
 TO ALLOW SAFE MOVEMENT OF MAINTENANCE VEHICLES, ACCESS RAMPS SHOULD BE PROVIDED TO THE SHORELINE OR BOTTOM OF ALL FACILITIES WITH SIDE SLOPES GREATER THAN 3 FEET IN HEIGHT. ACCESS RAMPS SHOULD NOT EXCEED 10 PERCENT IN GRADE AND SHOULD BE SUITABLY STABILIZED TO PREVENT DAMAGE BY VEHICLES AND EQUIPMENT. TURNAROUNDS SHOULD BE PROVIDED WHERE BACKING UP IS DIFFICULT OR DANGEROUS. TO EXPEDITE OVERALL MAINTENANCE, VEHICLE AND EQUIPMENT STAGING AREAS SHOULD BE PROVIDED AT OR NEAR EACH FACILITY SITE.

TRAINING OF MAINTENANCE PERSONNEL:
 DEPENDING ON THE SIZE, CHARACTER, COMPONENTS, AND LOCATION OF A STORMWATER MANAGEMENT MEASURE, MAINTENANCE PERSONNEL MAY REQUIRE SPECIALIZED TRAINING TO ENSURE THAT THE MEASURE IS MAINTAINED IN A MANNER CONSISTENT WITH ITS FUNCTION. SUCH TRAINING MAY ADDRESS SPECIALIZED INSPECTION OR MAINTENANCE TASKS AND/OR THE OPERATION OF SPECIALIZED MAINTENANCE EQUIPMENT.

DISPOSAL:
 COLLECTION AND DISPOSAL OF SEDIMENT, DEBRIS, AND TRASH FROM STORMWATER MANAGEMENT MEASURES MUST COMPLY WITH LOCAL, STATE, AND FEDERAL WASTE HANDLING AND DISPOSAL REGULATIONS. ALL COLLECTED MATERIAL MUST BE SENT TO APPROPRIATE DISPOSAL/RECYCLING FACILITIES.

AESTHETICS:
 THE SAFETY, NEEDS AND AESTHETIC PREFERENCES OF THE ADJACENT COMMUNITY CAN HELP DETERMINE THE TYPE, AMOUNT, AND FREQUENCY OF NECESSARY MAINTENANCE.

EMERGENCY MAINTENANCE:
 EMERGENCY MAINTENANCE AND REPAIRS MUST BE PERFORMED IN A TIMELY MANNER.

SAFETY:
 DEVELOPMENT OF A STORMWATER MANAGEMENT MEASURE DESIGN AND THE INSPECTION AND MAINTENANCE TASKS NECESSARY TO KEEP IT FUNCTIONING RELIABLY MUST INCLUDE CONSIDERATIONS FOR THE SAFETY OF INSPECTION AND MAINTENANCE PERSONNEL WHO WILL BE WORKING IN OR NEAR THE MEASURE.

MAINTENANCE NOTES

REQUIRED MAINTENANCE PLAN PROCEDURES:

- COPIES OF THE MAINTENANCE PLAN MUST BE PROVIDED TO THE OWNER AND OPERATOR OF THE STORMWATER MANAGEMENT MEASURE AND TO ALL REVIEWING AGENCIES. A COPY SHOULD ALSO BE PROVIDED TO THE LOCAL MOSQUITO CONTROL OR EXTERMINATION COMMISSION UPON REQUEST.
- THE TITLE AND DATE OF THE MAINTENANCE PLAN AND THE NAME AND/OR TITLE AND ADDRESS OF THE PERSON WITH OVERALL MAINTENANCE RESPONSIBILITY MUST BE RECORDED ON THE DEED OF THE PROPERTY ON WHICH THE STORMWATER MANAGEMENT MEASURE IS LOCATED. ANY CHANGE IN THE NAME OR TITLE MUST ALSO BE RECORDED ON THE DEED, PARTICULARLY IF THERE IS A CHANGE OF PROPERTY OWNERSHIP.
- THE MAINTENANCE PLAN MUST BE EVALUATED FOR EFFECTIVENESS AT LEAST ANNUALLY AND MUST BE REVISED AS NEEDED.
- A DETAILED, WRITTEN LOG OF ALL PREVENTATIVE AND CORRECTIVE MAINTENANCE PERFORMED AT THE STORMWATER MANAGEMENT MEASURE MUST BE KEPT, INCLUDING A RECORD OF ALL INSPECTIONS AND COPIES OF MAINTENANCE WORK ORDERS.
- THE PERSON WITH OVERALL MAINTENANCE RESPONSIBILITY MUST MAKE THE MAINTENANCE PLAN, LOGS, AND OTHER RECORDS AVAILABLE FOR REVIEW UPON REQUEST FROM A PUBLIC ENTITY WITH JURISDICTION OVER ACTIVITIES AT THE SITE.

REQUIRED MAINTENANCE PLAN COMMENTS:

- ENTRITY RESPONSIBLE FOR OVERALL MAINTENANCE OF THE STORMWATER MANAGEMENT MEASURE:
 HOMEOWNERS ASSOCIATION
- SCHEDULE OF MAINTENANCE INSPECTIONS AND MAINTENANCE TASKS:
EXTENDED DETENTION BASIN:
 A. GENERAL MAINTENANCE:
 ALL EXTENDED DETENTION BASIN COMPONENTS EXPECTED TO RECEIVE AND/OR TRAP DEBRIS AND SEDIMENT MUST BE INSPECTED FOR CLOGGING AND EXCESSIVE DEBRIS AND SEDIMENT ACCUMULATION AT LEAST FOUR TIMES ANNUALLY AS WELL AS AFTER EVERY STORM EXCEEDING 1 INCH OF RAINFALL. SUCH COMPONENTS MAY INCLUDE BOTTOMS, TRASH RACKS, LOW FLOW CHANNELS, OUTLET STRUCTURES, RIPRAP OR GABION APRONS, AND INLETS. SEDIMENT REMOVAL SHOULD TAKE PLACE WHEN THE BASIN IS THOROUGHLY DRY. DISPOSAL OF DEBRIS AND TRASH SHOULD BE DONE AT SUITABLE DISPOSAL/RECYCLING SITES AND IN COMPLIANCE WITH ALL APPLICABLE LOCAL, STATE AND FEDERAL WASTE REGULATIONS.
 B. VEGETATED AREAS:
 MOWING AND/OR TRIMMING OF VEGETATION MUST BE PERFORMED ON A REGULAR SCHEDULE BASED ON SPECIFIC SITE CONDITIONS. GRASS SHOULD BE MOWED AT LEAST ONCE A MONTH DURING THE GROWING SEASON. VEGETATED AREAS MUST ALSO BE INSPECTED AT LEAST ANNUALLY FOR EROSION AND SCOUR. VEGETATED AREAS SHOULD ALSO BE INSPECTED AT LEAST ANNUALLY FOR UNWANTED GROWTH, WHICH SHOULD BE REMOVED WITH MINIMUM DISRUPTION TO THE BOTTOM SURFACE AND REMAINING VEGETATION. WHEN ESTABLISHING OR RESTORING VEGETATION, BIWEEKLY INSPECTIONS OF VEGETATION HEALTH SHOULD BE PERFORMED DURING THE FIRST GROWING SEASON OR UNTIL THE VEGETATION IS ESTABLISHED. ONCE ESTABLISHED, INSPECTIONS OF VEGETATION HEALTH, DENSITY AND DIVERSITY SHOULD BE PERFORMED AT LEAST TWICE ANNUALLY DURING BOTH THE GROWING AND NON-GROWING SEASONS. THE VEGETATIVE COVER SHOULD BE MAINTAINED AT 85% IF VEGETATION HAS GREATER THAN 50% DAMAGE. THE AREA SHOULD BE REESTABLISHED IN ACCORDANCE WITH THE ORIGINAL SPECIFICATIONS AND THE INSPECTION REQUIREMENTS PRESENTED ABOVE. ALL USE OF FERTILIZERS, MECHANICAL TREATMENTS, PESTICIDES AND OTHER MEANS TO ASSURE OPTIMUM VEGETATION HEALTH SHALL NOT COMPROMISE THE INTENDED PURPOSE OF THE EXTENDED DETENTION BASIN. ALL VEGETATION DEFICIENCIES SHOULD BE ADDRESSED WITHOUT THE USE OF FERTILIZERS AND PESTICIDES WHENEVER POSSIBLE.
 C. STRUCTURAL COMPONENTS:
 ALL STRUCTURAL COMPONENTS MUST BE INSPECTED FOR CRACKING, SUBSIDENCE, SPALLING, EROSION, AND DETERIORATION AT LEAST ANNUALLY.
 D. OTHER MAINTENANCE CRITERIA:
 THE OPERATION AND MAINTENANCE PLAN MUST INDICATE THE APPROXIMATE TIME THAT THE SYSTEM WOULD NORMALLY TAKE TO COMPLETELY DRAIN THE STORMWATER QUALITY DESIGN STORM RUNOFF VOLUME. THIS NORMAL DRAIN TIME SHOULD THEN BE USED TO EVALUATE THE SYSTEM'S ACTUAL PERFORMANCE. IF SIGNIFICANT INCREASES OR DECREASES IN THE DRAIN TIME ARE OBSERVED, THE SYSTEM'S OUTLET STRUCTURE, UNDERDRAIN SYSTEM, AND BOTH GROUNDWATER AND TAILWATER LEVELS MUST BE EVALUATED AND APPROPRIATE MEASURES TAKEN TO COMPLY WITH THE MAXIMUM DRAIN TIME REQUIREMENTS AND MAINTAIN THE PROPER FUNCTIONING OF THE BASIN.

- INFILTRATION BASIN:**
- A. GENERAL MAINTENANCE:
 ALL INFILTRATION BASIN COMPONENTS EXPECTED TO RECEIVE AND/OR TRAP DEBRIS AND SEDIMENT MUST BE INSPECTED FOR CLOGGING AND EXCESSIVE DEBRIS AND SEDIMENT ACCUMULATION AT LEAST FOUR TIMES ANNUALLY AS WELL AS AFTER EVERY STORM EXCEEDING 1 INCH OF RAINFALL. SUCH COMPONENTS MAY INCLUDE BOTTOMS, RIPRAP OR GABION APRONS, AND INFLOW POINTS. THIS APPLIES TO BOTH SURFACE AND SUBSURFACE INFILTRATION BASINS. SEDIMENT REMOVAL SHOULD TAKE PLACE WHEN THE BASIN IS THOROUGHLY DRY. DISPOSAL OF DEBRIS & TRASH SHOULD BE DONE AT SUITABLE DISPOSAL/RECYCLING SITES AND IN COMPLIANCE WITH ALL APPLICABLE LOCAL, STATE AND FEDERAL WASTE REGULATIONS. STUDIES HAVE SHOWN THAT READILY VISIBLE STORMWATER MANAGEMENT FACILITIES LIKE INFILTRATION BASINS RECEIVE MORE FREQUENT AND THOROUGH MAINTENANCE THAN THOSE IN LESS VISIBLE, MORE REMOTE LOCATIONS. READILY VISIBLE FACILITIES CAN ALSO BE INSPECTED FASTER AND MORE EASILY BY MAINTENANCE AND MOSQUITO CONTROL PERSONNEL.
- B. VEGETATED AREAS:
 MOWING AND/OR TRIMMING OF VEGETATION MUST BE PERFORMED ON A REGULAR SCHEDULE BASED ON SPECIFIC SITE CONDITIONS. GRASS SHOULD BE MOWED AT LEAST ONCE A MONTH DURING THE GROWING SEASON. VEGETATED AREAS MUST ALSO BE INSPECTED AT LEAST ANNUALLY FOR EROSION AND SCOUR. THE STRUCTURE MUST BE INSPECTED FOR UNWANTED TREE GROWTH AT LEAST ONCE A YEAR. WHEN ESTABLISHING OR RESTORING VEGETATION, BIWEEKLY INSPECTIONS OF VEGETATION HEALTH SHOULD BE PERFORMED DURING THE FIRST GROWING SEASON OR UNTIL THE VEGETATION IS ESTABLISHED. ONCE ESTABLISHED, INSPECTIONS OF VEGETATION HEALTH, DENSITY AND DIVERSITY SHOULD BE PERFORMED AT LEAST TWICE ANNUALLY DURING BOTH THE GROWING AND NON-GROWING SEASONS. THE VEGETATIVE COVER SHOULD BE MAINTAINED AT 85% IF VEGETATION HAS GREATER THAN 50% DAMAGE. THE AREA SHOULD BE REESTABLISHED IN ACCORDANCE WITH THE ORIGINAL SPECIFICATIONS AND THE INSPECTION REQUIREMENTS PRESENTED ABOVE. ALL USE OF FERTILIZERS, MECHANICAL TREATMENTS, PESTICIDES AND OTHER MEANS TO ASSURE OPTIMUM VEGETATION HEALTH MUST NOT COMPROMISE THE INTENDED PURPOSE OF THE BIOTENTATION SYSTEM. ALL VEGETATION DEFICIENCIES SHOULD BE ADDRESSED WITHOUT THE USE OF FERTILIZERS AND PESTICIDES WHENEVER POSSIBLE.
- C. STRUCTURAL COMPONENTS:
 ALL STRUCTURAL COMPONENTS MUST BE INSPECTED FOR CRACKING, SUBSIDENCE, SPALLING, EROSION AND DETERIORATION AT LEAST ANNUALLY.
- D. OTHER MAINTENANCE CRITERIA:
 THE OPERATION AND MAINTENANCE PLAN MUST INDICATE THE APPROXIMATE TIME THAT THE BASIN WOULD NORMALLY TAKE TO DRAIN THE STORMWATER QUALITY DESIGN STORM RUNOFF VOLUME BELOW THE GROUND SURFACE. THIS NORMAL DRAIN OR DRAWDOWN TIME SHOULD THEN BE USED TO EVALUATE THE BASIN'S ACTUAL PERFORMANCE. IF SIGNIFICANT INCREASES OR DECREASES IN THE DRAIN TIME ARE OBSERVED, THE BASIN'S BOTTOM SURFACE, SUBSOIL AND BOTH GROUNDWATER AND TAILWATER LEVELS MUST BE EVALUATED AND APPROPRIATE MEASURES TAKEN TO COMPLY WITH THE MAXIMUM DRAIN TIME REQUIREMENTS AND MAINTAIN THE PROPER FUNCTIONING OF THE BASIN. THIS APPLIES TO BOTH SURFACE INFILTRATION BASINS. THE BOTTOM SAND LAYER IN A SURFACE INFILTRATION BASIN SHOULD BE INSPECTED AT LEAST MONTHLY AS WELL AS AFTER EVERY STORM EXCEEDING ONE INCH OF RAINFALL. THE PERMEABILITY RATE OF THE SOIL BELOW THE BASIN MAY ALSO BE RETESTED PERIODICALLY. IF THE WATER FALLS TO 72 HOURS AFTER THE END OF THE STORM, CORRECTIVE MEASURES MUST BE TAKEN. ANNUAL TILLING BY LIGHT EQUIPMENT CAN ASSIST IN MAINTAINING INFILTRATION CAPACITY AND BREAK UP CLOGGED SURFACES.

PROBLEMS FOUND DURING MAINTENANCE INSPECTIONS SHALL BE CORRECTED. THESE INCLUDE THE RESTORATION OF ERODED AREAS, REPAIR OR REPLACEMENT OF STORMWATER MANAGEMENT MEASURE COMPONENTS, RESTORATION OF VEGETATION, AND REPAIR OR REPLACEMENT OF NON-VEGETATED LININGS.

OWNERSHIP OF DOCUMENTS

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| NO. | DATE | REVISION | DESCRIPTION | BY |
|-----|---------|---|-------------|----|
| 3 | 11/8/21 | REVISED PER NEPTUNE ZONING BOARD OF ADJUSTMENT ENGINEER | SDC | |
| 2 | 8/23/21 | ADDED LOT & BLOCK NUMBERS | SDC | |
| 1 | 8/3/21 | REVISED PER N.J.A.C. 17:27 | SDC | |

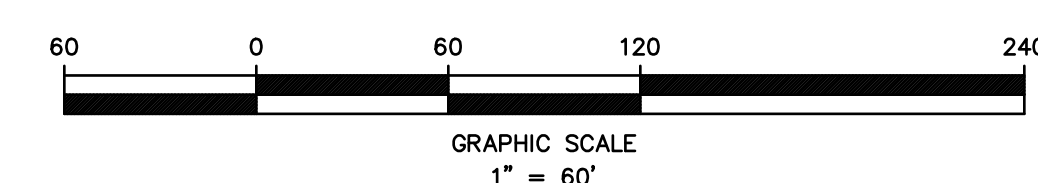
PDS
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 ENVIRONMENTAL SCIENTISTS, CONSTRUCTION SERVICES
 1245 AIRPORT ROAD, SUITE 1, LAKEWOOD, NEW JERSEY 08701
 PHONE 732 363 0000 FAX 732 363 0003
 ENGINEERING@PDS-NJ.COM WWW.PDS-NJ.COM
 NEW JERSEY STATE BOARD OF P.E. & L.S.
 CERTIFICATE OF AUTHORIZATION NO. 24G428125400

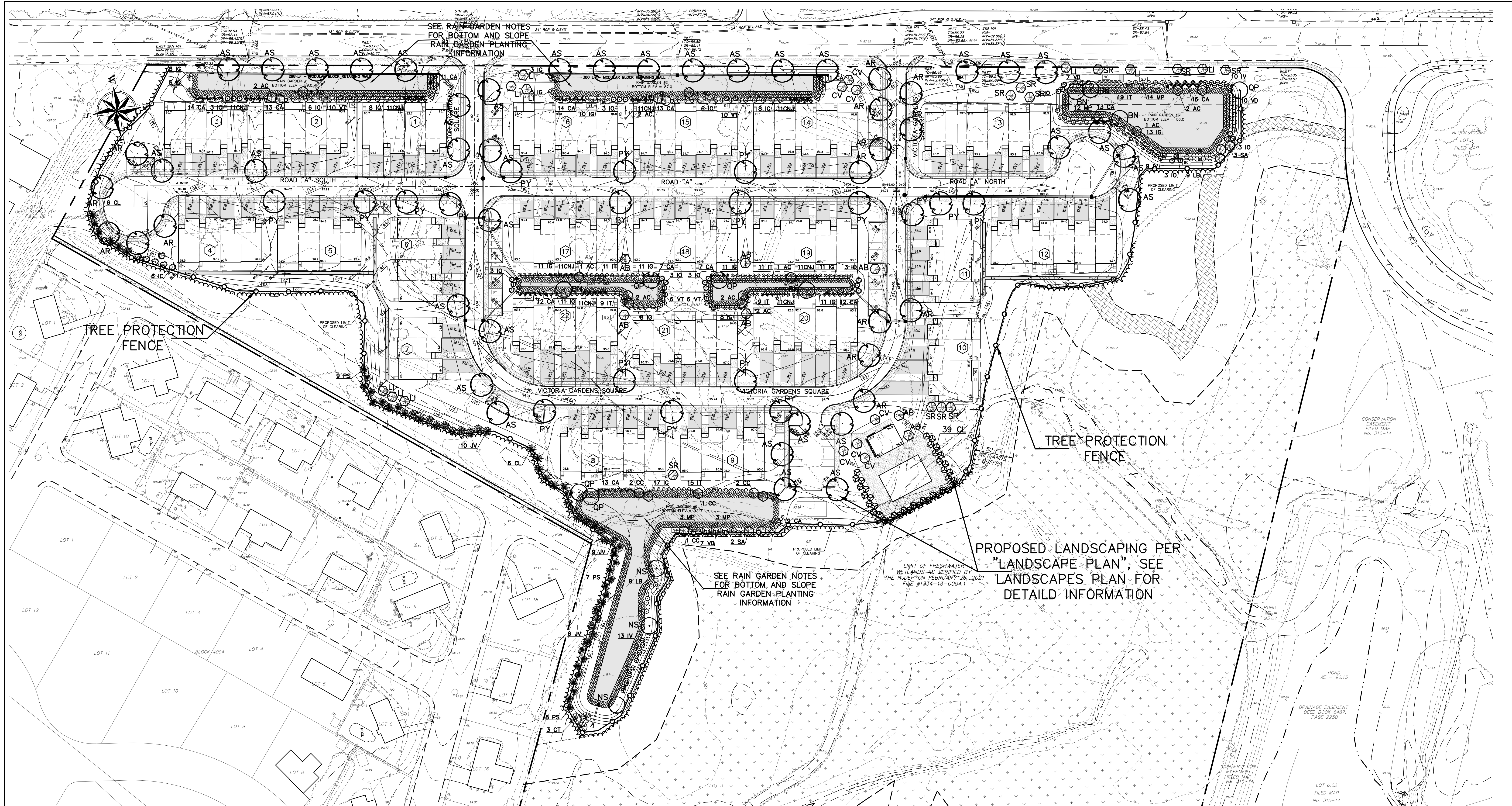
WILLIAM A. STEVENS, P.E., P.P.
 PROFESSIONAL ENGINEER, NEW JERSEY LIC. #39115
 PROFESSIONAL PLANNER, NEW JERSEY LIC. #3394

**PRELIMINARY & FINAL MAJOR SUBDIVISION
 SOIL EROSION & SEDIMENT CONTROL
 STORMWATER MAINTENANCE PLAN
 VICTORIA GARDENS
 BLOCK 4001 - LOTS 1, 2 & 3
 TOWNSHIP OF NEPTUNE
 MONMOUTH COUNTY NEW JERSEY**

SCALE: 1" = 60'
 DATE: MAY 25, 2021
 JOB NUMBER: 321644
 SHEET: 34

DRAWN BY: SDC
 DESIGNED BY: IMB
 CHECKED BY: WAS



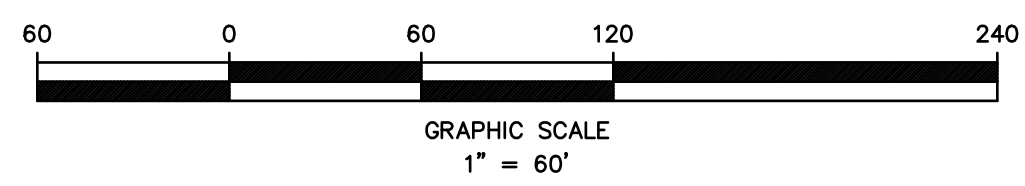


TREE REMOVAL NOTES

1. THERE ARE NO HISTORIC, EXTRAORDINARY OR SPECIMEN TREES LOCATED WITHIN THE PROJECT AREA.
2. THE CONTRACTOR MUST PROVIDE WRITTEN NOTICE TO THE NEPTUNE TOWNSHIP FORESTER A MINIMUM OF 48 HOURS PRIOR TO COMMENCEMENT OF TREE REMOVAL OPERATIONS.
3. THE CONTRACTOR MUST COMPLY WITH ALL PROVISIONS OF THE NEPTUNE TOWNSHIP TREE ORDINANCE.
4. LIMIT OF CLEARING SHALL BE PROTECTED BY INSTALLATION OF 4 FOOT ORANGE CONSTRUCTION FENCING. THE FENCING MUST BE PLACED AT THE LIMIT OF DISTURBANCE PRIOR TO COMMENCEMENT OF TREE REMOVAL OPERATIONS. PROTECTIVE FENCING SHALL NOT BE REMOVED UNTIL THE THREAT OF DAMAGE FROM HEAVY EQUIPMENT IS GONE.
5. ALL REMAINING TREES ARE TO BE PRUNED AS NECESSARY IN ACCORDANCE WITH INDUSTRY STANDARDS BY A NJ CERTIFIED TREE EXPERT.
6. THE TREES PRESENT WITHIN THE DEVELOPABLE AREA ARE SUCCESSIONAL TREES HAVING AN AVERAGE DIAMETER OF 5" CONSISTING OF SWEET GUM WHITE OAK, RED CEDAR AS DOMINANT SPECIES.

LEGEND

- EXISTING WOODLINE
- PROPOSED WOODLINE
- PROPOSED TREE PROTECTION FENCE



OWNERSHIP OF DOCUMENTS

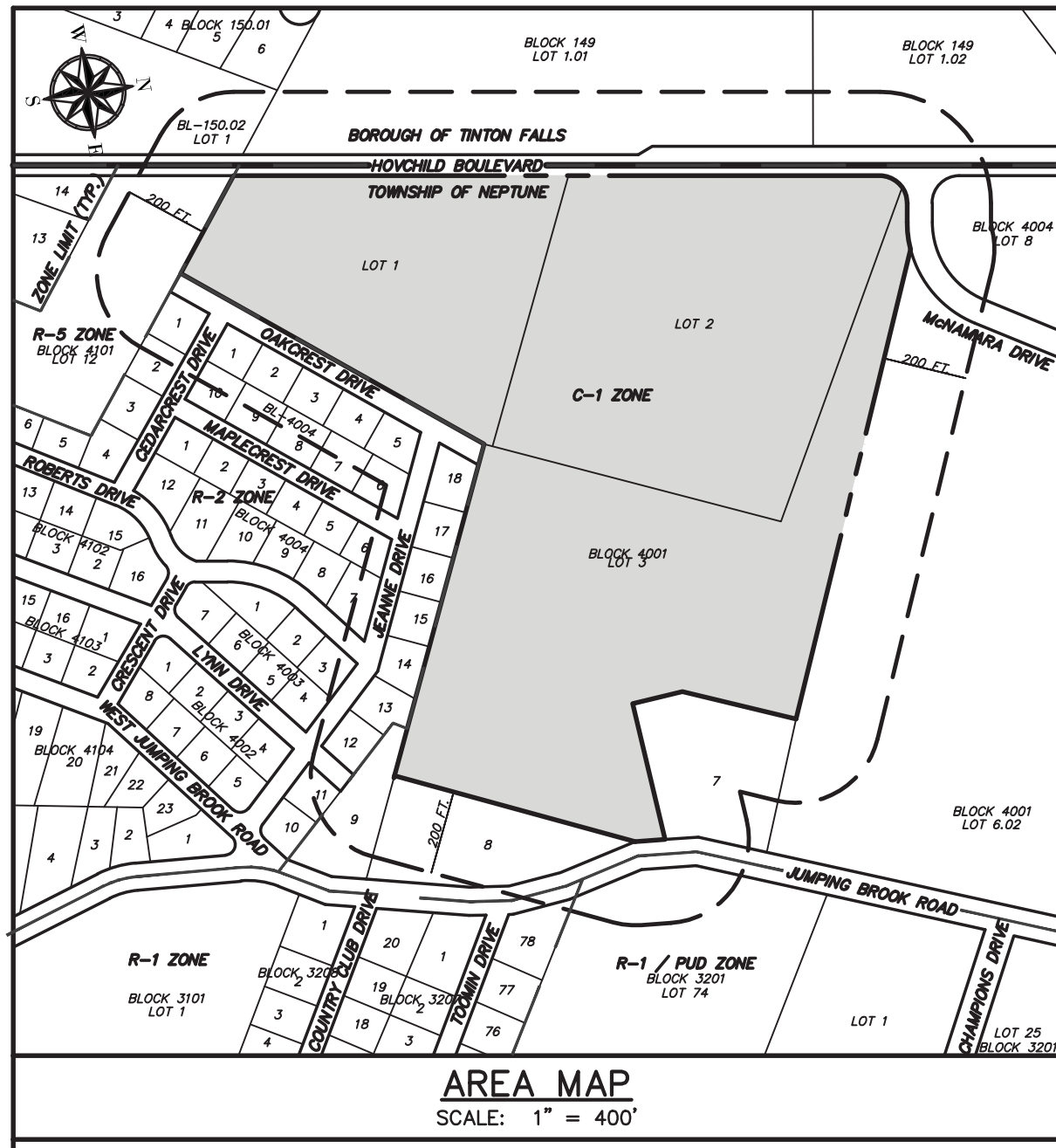
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| NO. | DATE | DESCRIPTION | BY |
|-----|------|-------------|----|
| | | | |
| | | | |
| | | | |
| | | | |
| | | | |

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 NEW JERSEY STATE BOARD OF P.E. & L.S.
 CERTIFICATE OF AUTHORIZATION NO. 24GA28125400
WILLIAM A. STEVENS, P.E., P.P.
 PROFESSIONAL ENGINEER, NEW JERSEY LIC #39115
 PROFESSIONAL PLANNER, NEW JERSEY LIC #5394

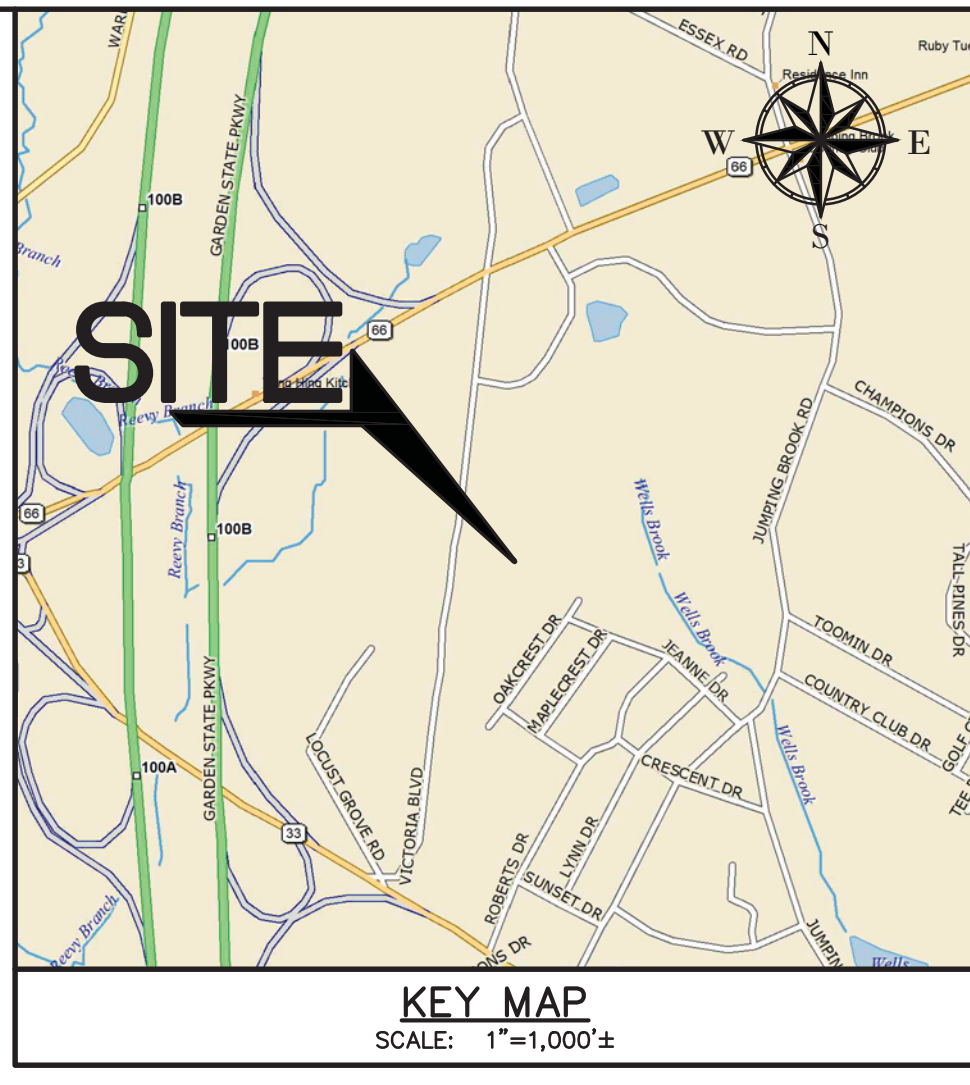
PRELIMINARY & FINAL MAJOR SUBDIVISION
TREE SAVE PLAN
VICTORIA GARDENS
 BLOCK 4001 – LOTS 1, 2 & 3
 TOWNSHIP OF NEPTUNE
 MONMOUTH COUNTY NEW JERSEY

| | | | |
|-----------------|--------------------|--------------------|---------|
| SCALE: 1" = 60' | DATE: MAY 25, 2021 | JOB NUMBER: 321644 | SHEET 5 |
| DRAWN BY: SDG | DESIGNED BY: IMB | CHECKED BY: WAS | 31 |

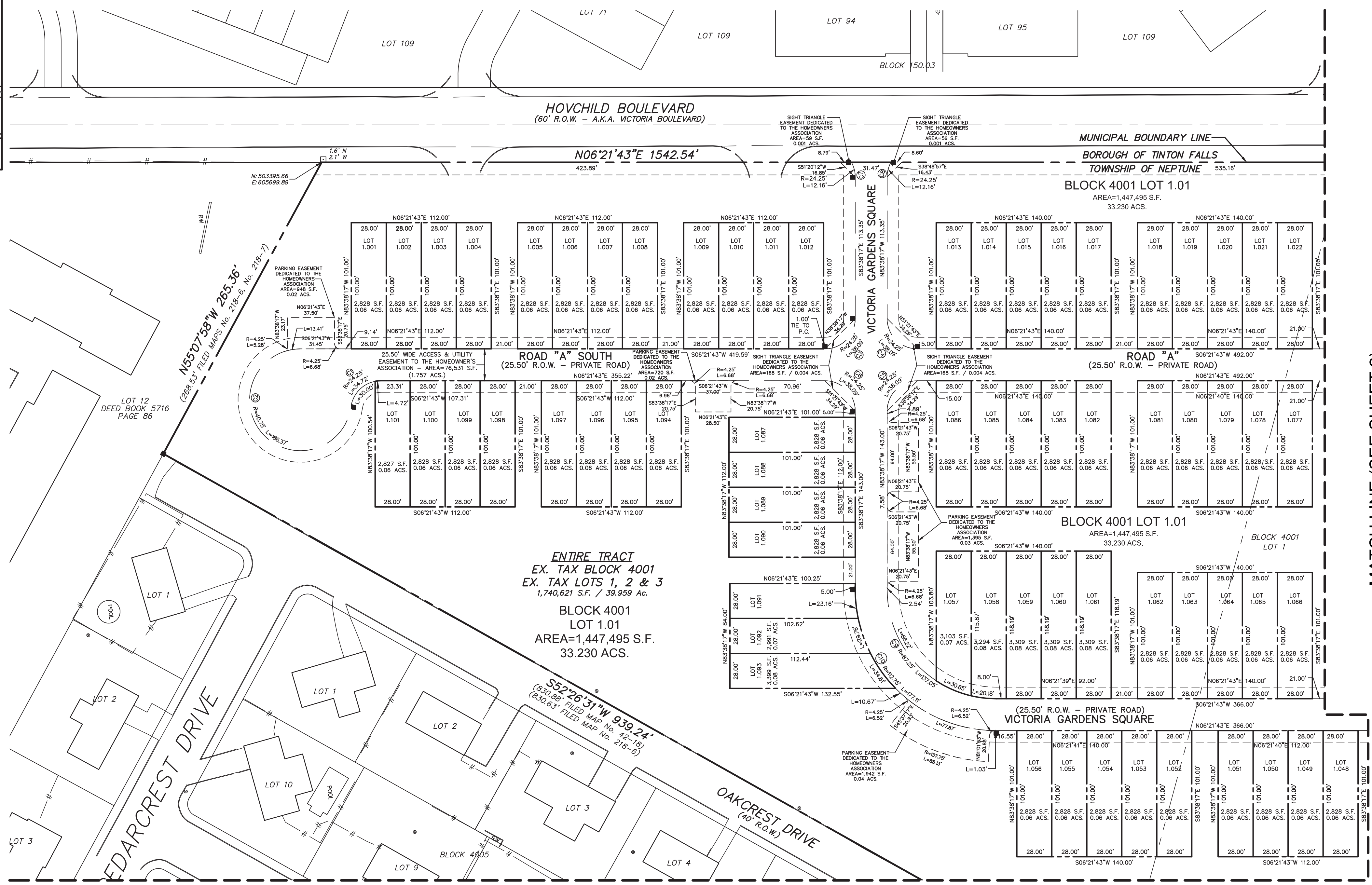


ZONING REQUIREMENTS (C-1 DISTRICT)

| | REQUIRED | PROVIDED |
|---|-------------------|-------------------|
| MINIMUM LOT AREA | 2.5 ACRES | 37 ACRES |
| MAXIMUM DENSITY | 3.4 D.U. PER ACRE | 2.7 D.U. PER ACRE |
| MAXIMUM FLOOR AREA RATIO | 0.6 | 0.1 |
| MINIMUM LOT WIDTH | 500 FT. | 1,640 FT. |
| MINIMUM LOT FRONTAGE | 500 FT. | 1,540 FT. |
| MINIMUM LOT DEPTH | 600 FT. | 1,510 FT. |
| MINIMUM FRONT YARD SETBACK | 50 FT. | 60 FT. |
| MINIMUM SIDE YARD SETBACK | 30 FT. | 50 FT. |
| MINIMUM COMBINED SIDE YARD SETBACK | 60 FT. | 100 FT. |
| MINIMUM REAR YARD SETBACK | 40 FT. | 50 FT. |
| MAXIMUM PERCENT LOT COVERAGE | 30% | 10.6% |
| MAXIMUM PERCENT TOTAL LOT COVERAGE | 65% | 28% |
| MAXIMUM NUMBER OF STORIES | 2 | 2 |
| MAXIMUM BUILDING HEIGHT | 40 FT. | 26 FT. |
| MINIMUM IMPROVABLE AREA | 84,900 SQ. FT. | 764,000 SQ. FT. |
| MINIMUM IMPROVABLE AREA DIAMETER CIRCLE | 189 FT. | 290 FT. |



PROPERTY OWNERS LIST WITHIN 200 FT.



ENTIRE TRACT
EX. TAX BLOCK 4001
EX. TAX LOTS 1, 2 & 3
1,740,621 S.F. / 39.959 Ac.
BLOCK 4001
AREA=1,447,495 S.F.
33.230 ACS.

- GENERAL NOTES:**
- PROPERTY KNOWN AS BLOCK 4001, LOTS 1, 2, & 3 AS SHOWN ON SHEET 41 OF THE NEPTUNE TOWNSHIP TAX MAPS.
 - BOUNDARY AND TOPOGRAPHIC INFORMATION TAKEN FROM A PLAN ENTITLED, "BOUNDARY AND TOPOGRAPHIC SURVEY, LOTS 1, 2, 3 & 8, BLOCK 4001, LOTS 13 & 14, BLOCK 4101 SITUATED IN NEPTUNE TOWNSHIP, MONMOUTH COUNTY, N.J." PREPARED BY FWH ASSOCIATES, P.A. DATED SEPTEMBER 17, 2012.
 - WETLANDS INFORMATION TAKEN FROM A PLAN ENTITLED "WETLANDS PLAN LOTS 1, 2, 3 & 8, BLOCK 4001, LOTS 13 & 14, BLOCK 4101 SITUATED IN NEPTUNE TOWNSHIP, MONMOUTH COUNTY, N.J." PREPARED BY FWH ASSOCIATES, P.A. DATED SEPTEMBER 17, 2012 AND LAST REVISED ON JUNE 18, 2020.
 - TOPOGRAPHIC INFORMATION SHOWN HEREON IS BASED UPON N.A.V.D. 1988 DATUM INFORMATION CONTAINED IN GENERAL NOTES REFERENCE (2).
 - THE SITE IS LOCATED WITHIN THE C-1 DISTRICT.
 - IT IS PROPOSED TO SUBDIVIDE THE LOT INTO 101 TOWNHOUSE UNITS WITH A RECREATION FACILITY IN ACCORDANCE WITH A SETTLEMENT AGREEMENT.
 - FRESHWATER WETLANDS ARE SHOWN PURSUANT TO A MAP PREPARED BY FWH ASSOCIATES.
 - ANY EXISTING IMPROVEMENTS ON SITE TO BE DEMOLISHED AND DISPOSED OF SHALL BE IN ACCORDANCE WITH APPLICABLE REGULATIONS...
 - ROADWAYS, RECREATION BUILDING & AREAS AND STORMWATER BASINS ARE TO BE OWNED AND MAINTAINED BY HOMEOWNERS ASSOCIATION.
 - COORDINATES SHOWN HEREIN BASED UPON N.A.D. '83 US SURVEY FEET.
 - EXTERIOR AND INTERIOR DIMENSIONS MEET A MINIMUM CLOSURE STANDARD OF 1:15,000.

LEGEND:

| | |
|--|--|
| EXISTING EDGE OF WOODS | |
| EXISTING CLEANOUT | |
| EXISTING FIRE HYDRANT | |
| EXISTING WATER VALVE | |
| EXISTING WATER BOX | |
| EXISTING SIGN | |
| EXISTING LIGHT POLE | |
| EXISTING UTILITY POLE | |
| EXISTING GUY WIRE | |
| EXISTING OVERHEAD WRES | |
| EXISTING CHAIN LINK FENCE | |
| EXISTING WOOD FENCE | |
| EXISTING VINYL FENCE | |
| EXISTING MONUMENT FOUND | |
| EXISTING IRON PIPE FOUND | |
| PROPOSED MONUMENT TO BE SET (PRIVATE ROAD MONUMENTS TO BE SET ON A 2.00' OFFSET) | |

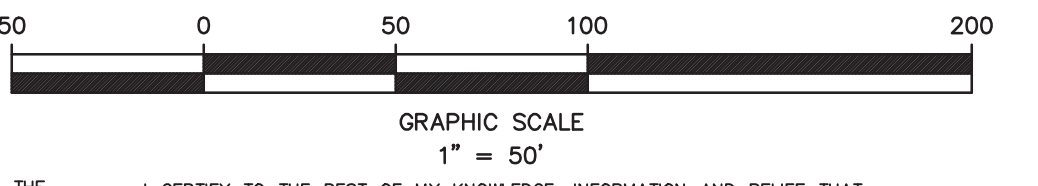
OWNER / APPLICANT
HOVSON'S INC.
4000 ROUTE 66
TINTON FALLS
NEW JERSEY 07753-7300

THE UNDERSIGNED HEREBY DECLARES THAT THEY ARE THE OWNER OF THE LANDS DELINEATED HEREON AND HEREBY CONSENTS TO THE FILING OF THIS MAP IN THE MONMOUTH COUNTY CLERK'S OFFICE

PRESIDENT OR SIGNING OFFICER _____
BE IT REMEMBERED THAT ON THIS _____ DAY OF _____ BEFORE ME, A NOTARY PUBLIC OF NEW JERSEY, PERSONALLY APPEARED _____ WHO I AM SATISFIED IS THE PERSON WHO HAS SIGNED THE ABOVE CONSENT

CURVE TABLE

| CURVE | RADIUS | LENGTH | DELTA | TANGENT | CHORD BEARING | CHORD LENGTH |
|-------|---------|---------|------------|---------|---------------|--------------|
| C1 | 24.25' | 34.72' | 82°02'28" | 21.10' | S34°39'31"E | 31.83' |
| C2 | 40.75' | 186.37' | 262°02'29" | 46.84' | N52°00'29"W | 61.49' |
| C3 | 24.25' | 38.09' | 90°00'00" | 24.25' | N38°38'17"W | 34.29' |
| C4 | 24.25' | 38.09' | 90°00'00" | 24.25' | N51°21'43"E | 34.29' |
| C5 | 24.25' | 38.09' | 90°00'00" | 24.25' | S38°38'17"E | 34.29' |
| C6 | 24.25' | 38.09' | 90°00'00" | 24.25' | S51°21'43"W | 34.29' |
| C7 | 24.25' | 12.16' | 28°43'19" | 6.21' | S82°00'03"W | 12.03' |
| C8 | 24.25' | 12.16' | 28°43'19" | 6.21' | S69°16'38"E | 12.03' |
| C9 | 87.25' | 137.05' | 90°00'00" | 87.25' | N51°21'43"E | 123.39' |
| C10 | 112.75' | 177.11' | 90°00'00" | 112.75' | N51°21'43"E | 159.45' |



I CERTIFY THAT THE MUNICIPAL BODY HAS APPROVED THE STREETS, AVENUES, AND ROADS OR ALLEYS SHOWN HEREON.

MUNICIPAL CLERK _____

HAVE CAREFULLY EXAMINED THIS MAP AND TO THE BEST OF MY KNOWLEDGE AND BELIEF FIND IT CONFORMS WITH THE PROVISIONS OF THE MAP FILING LAW, RESOLUTION OF APPROVAL AND APPLICABLE MUNICIPAL ORDINANCES AND REQUIREMENTS.

MUNICIPAL ENGINEER (AFFIX SEAL) _____

APPROVED BY:
THE NEPTUNE TOWNSHIP PLANNING BOARD

| APPROVED DATE | RESOLUTION NUMBER |
|------------------------|-------------------|
| CHAIRMAN | DATE |
| ADMINISTRATIVE OFFICER | DATE |
| BOARD ENGINEER | DATE |

THIS IS TO CERTIFY THAT THE PLANNING BOARD IS THE PROPER AUTHORITY TO APPROVE, AND HAS APPROVED THIS MAP AND THAT THIS MAP COMPLES WITH ALL THE PROVISIONS OF R.S. 46:25-8 KNOWN AS "THE MAP FILING LAW". THIS MAP SHALL BE FILED IN THE MONMOUTH COUNTY CLERK'S OFFICE ON OR BEFORE THE _____ DAY OF _____, 20____, WHICH DATE IS 95 DAYS FROM THE DATE OF THE SIGNING OF THIS PLAT. DEADLINE FOR FILING IS EXTENDED PER THE PERMIT EXTENSION ACT AS APPLICABLE.

MUNICIPAL CLERK _____

THE MONUMENTS SHOWN ON THIS MAP SHALL BE SET WITHIN THE TIME LIMIT PROVIDED IN THE "MUNICIPAL LAND USE LAW", P.L.1975, C.291 (C.40-150-1 ET SEQ) OR LOCAL ORDINANCE. I CERTIFY THAT A SUPERVISION AND MEETS THE MINIMUM SURVEY DETAIL REQUIREMENTS OF THE STATE BOARD OF PROFESSIONAL ENGINEERS AND LAND SURVEYORS AND THAT THE OUTBOUND CORNER MARKERS AS SHOWN HAVE BEEN FOUND, OR SET.

I CERTIFY THAT THIS MAP HAS BEEN MADE UNDER MY SUPERVISION AND COMPLES WITH THE "MAP FILING LAW."

MUNICIPAL CLERK _____

ANTHONY B. KOVAL, LICENSED PROF. LAND SURVEYOR AND NO. 32117

STEVEN METELSKI, JR., PLS PROF. LAND SURVEYOR NO. 05043393

I CERTIFY THAT THIS MAP HAS BEEN MADE UNDER MY SUPERVISION AND COMPLES WITH THE "MAP FILING LAW."

PDS
PROFESSIONAL DESIGN SERVICES, L.L.C.
CONSULTING ENGINEERS, LAND SURVEYORS, PLANNERS,
ENVIRONMENTAL SCIENTISTS, CONSTRUCTION SERVICES
1245 AIRPORT ROAD, SUITE 1, LAKEWOOD, NEW JERSEY 08701
PHONE 732-383-0900 FAX 732-383-0073
STEVEN@PDS-NJ.COM
NEW JERSEY STATE BOARD OF P.E. & L.S.
CERTIFICATE OF AUTHORIZATION NO. 2462A125400
STEVEN METELSKI, JR., PLS
N.J. PROFESSIONAL LAND SURVEYOR LICENSE NO. 43383

Steven Metelski Jr.

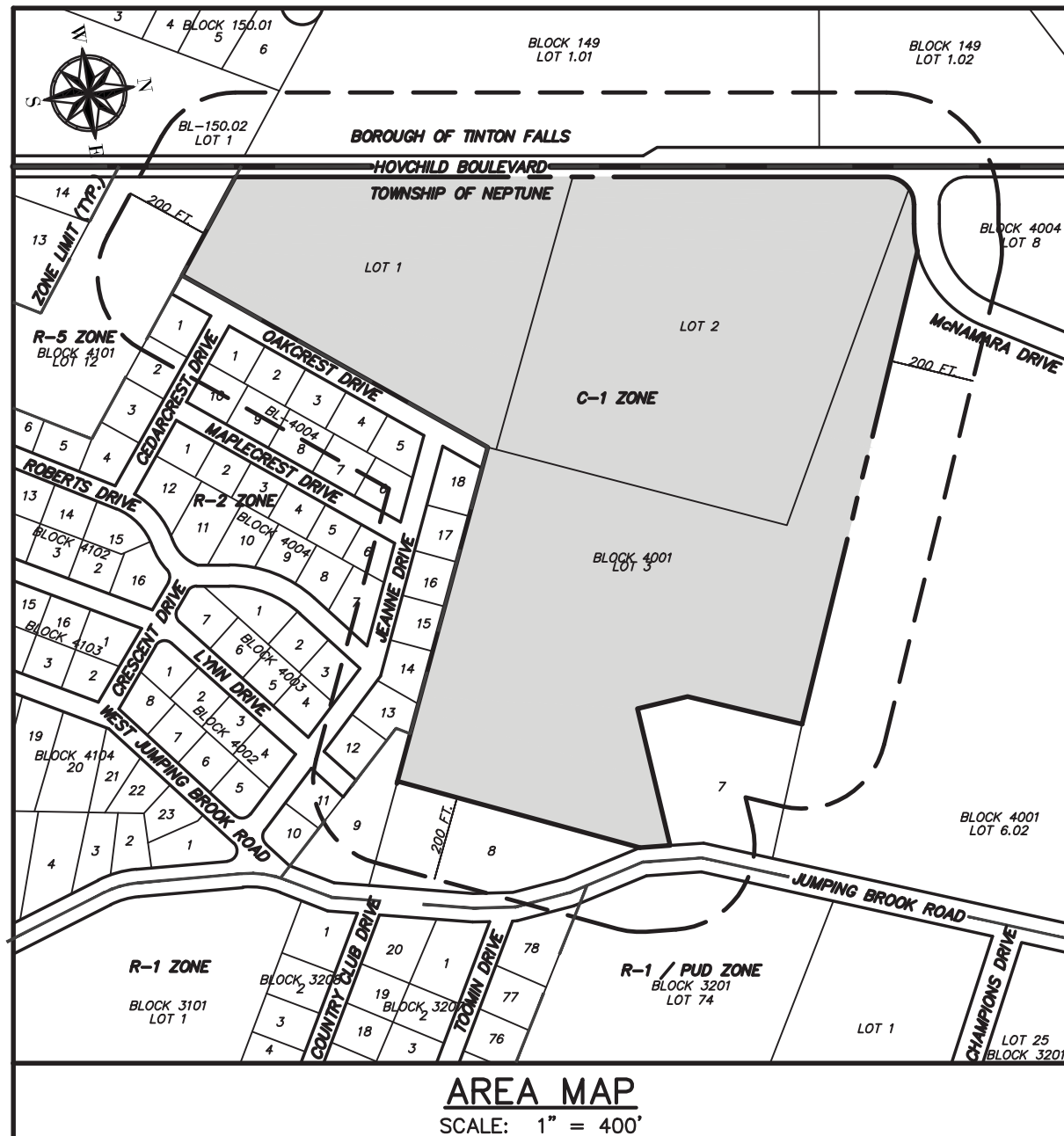
PRELIMINARY & FINAL MAJOR SUBDIVISION
FINAL PLAT
VICTORIA GARDENS
FOR
TAX BLOCK 4001 - TAX LOTS 1, 2, 3 & 8
(TAX MAP REFERENCE SHEET No.)

TOWNSHIP OF NEPTUNE
MONMOUTH COUNTY
NEW JERSEY

| SCALE: | DATE: | JOB NUMBER: | SHEET |
|--------|---------------|-------------|-------|
| 1"=50' | JULY 12, 2019 | 321644 | 1 |

| DRAWN BY: | CALC'D BY: | CHECKED BY: | DATE |
|-----------|------------|-------------|------|
| SLM | SLM | SLM | --- |

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AREA MAP
SCALE: 1" = 400'

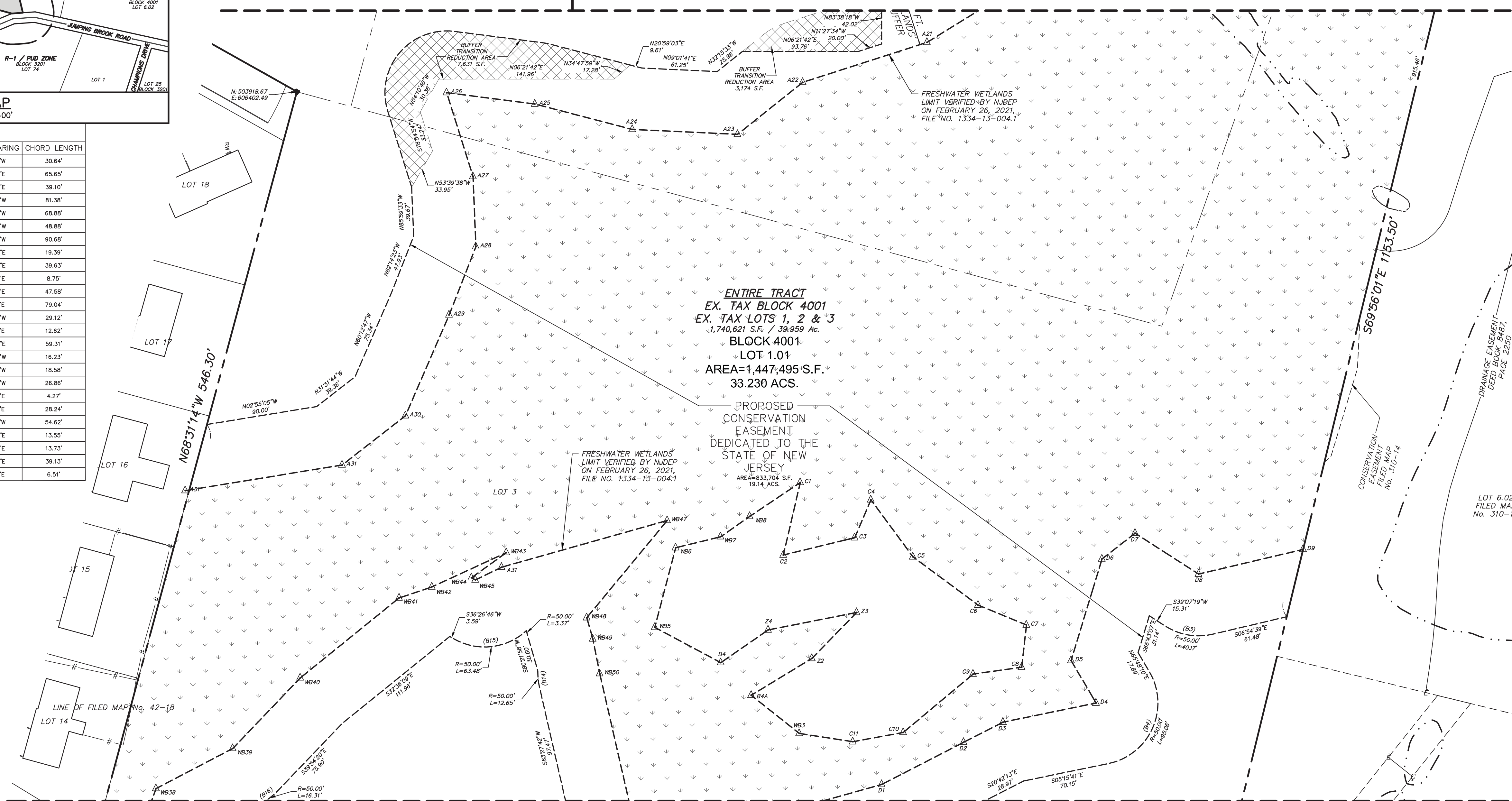
| CURVE | RADIUS | LENGTH | DELTA | TANGENT | CHORD BEARING | CHORD LENGTH |
|-------|---------|---------|------------|---------|---------------|--------------|
| (B1) | 85.00' | 30.93' | 27°16'08" | 15.77' | S04°31'07"W | 30.64' |
| (B2) | 259.83' | 65.82' | 14°30'52" | 33.09' | N89°07'31"E | 65.65' |
| (B3) | 50.00' | 40.17' | 46°01'59" | 21.24' | N16°06'20"E | 39.10' |
| (B4) | 50.00' | 95.06' | 108°56'08" | 70.01' | N59°43'45"W | 81.38' |
| (B5) | 50.00' | 75.98' | 87°03'56" | 47.50' | N37°17'50"W | 68.88' |
| (B6) | 50.00' | 51.07' | 58°31'20" | 28.01' | N27°55'47"W | 48.88' |
| (B7) | 50.00' | 113.55' | 130°07'23" | 107.53' | N36°51'32"W | 90.68' |
| (B8) | 50.00' | 19.51' | 22°21'31" | 9.88' | N39°22'55"E | 19.39' |
| (B9) | 50.00' | 40.75' | 46°41'57" | 21.58' | N73°54'39"E | 39.63' |
| (B10) | 50.00' | 8.76' | 10°22'17" | 4.39' | S77°43'14"E | 8.75' |
| (B11) | 50.00' | 49.59' | 56°49'23" | 27.05' | S44°17'24"E | 47.58' |
| (B12) | 50.00' | 91.14' | 104°26'13" | 64.50' | S60°11'04"E | 79.04' |
| (B13) | 50.00' | 29.55' | 33°51'32" | 15.22' | S08°57'49"W | 29.12' |
| (B14) | 50.00' | 12.65' | 14°29'53" | 6.36' | S89°17'21"E | 12.62' |
| (B15) | 50.00' | 63.48' | 72°44'53" | 36.83' | N00°04'20"E | 59.31' |
| (B16) | 50.00' | 16.31' | 18°41'05" | 8.23' | N30°33'48"W | 16.23' |
| (B17) | 50.00' | 18.69' | 21°25'04" | 9.46' | N52°41'07"W | 18.58' |
| (B18) | 50.00' | 27.19' | 31°09'24" | 13.94' | N59°29'19"W | 26.86' |
| (B19) | 50.00' | 4.27' | 4°53'23" | 2.13' | S72°48'10"E | 4.27' |
| (B20) | 50.00' | 28.83' | 32°48'31" | 14.72' | S51°43'10"E | 28.24' |
| (B21) | 75.00' | 55.91' | 42°42'30" | 29.32' | S29°18'58"W | 54.62' |
| (B22) | 75.00' | 13.57' | 10°22'06" | 6.80' | S83°27'33"E | 13.55' |
| (B23) | 75.00' | 13.75' | 10°30'11" | 6.89' | S73°01'24"E | 13.73' |
| (B24) | 50.00' | 40.21' | 46°04'19" | 21.26' | S44°44'09"E | 39.13' |
| (B25) | 85.00' | 6.51' | 5°44'15" | 3.26' | S11°59'03"E | 6.51' |

ZONING REQUIREMENTS (C-1 DISTRICT)

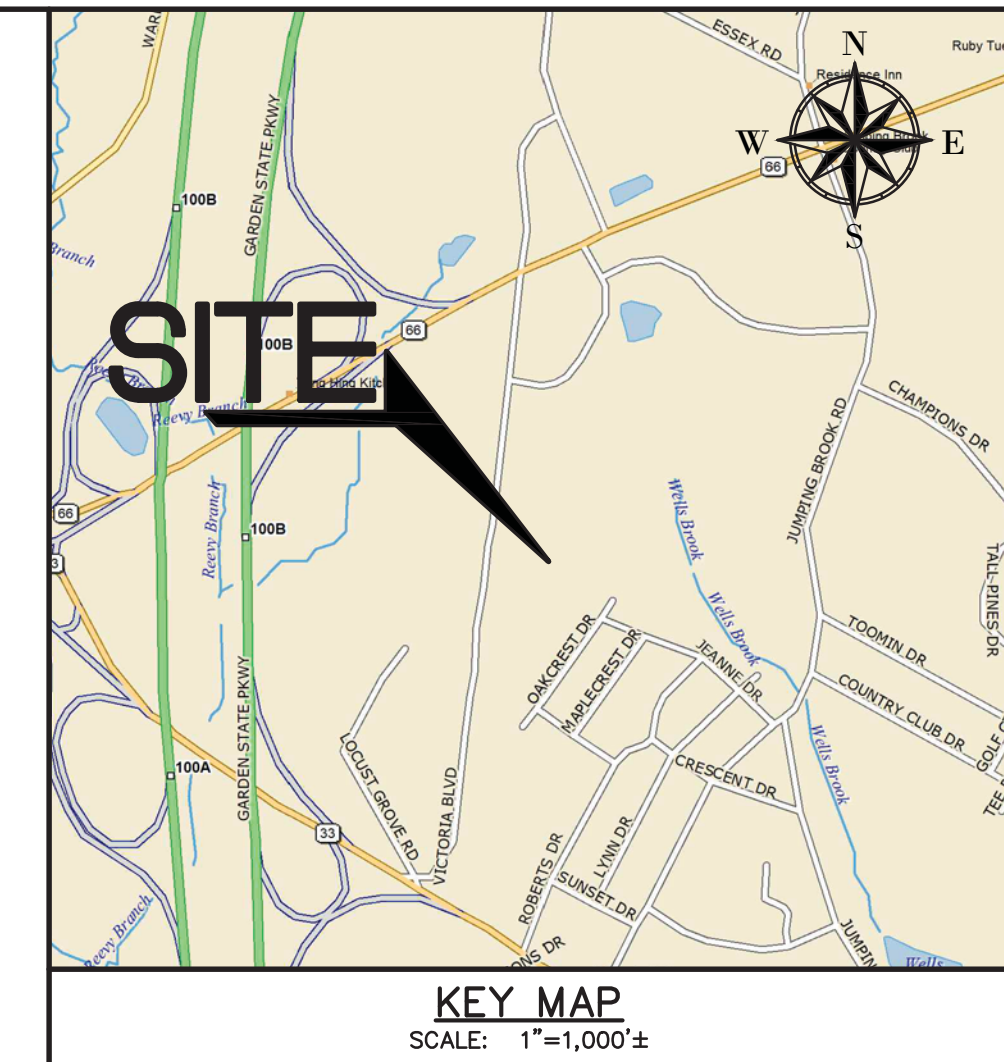
| REQUIRED | PROVIDED |
|---|-------------------|
| MINIMUM LOT AREA | 2.5 ACRES |
| MAXIMUM DENSITY | 37 ACRES |
| MAXIMUM FLOOR AREA RATIO | 3.4 D.U. PER ACRE |
| MINIMUM LOT WIDTH | 0.6 |
| MINIMUM LOT FRONTAGE | 500 FT. |
| MINIMUM LOT DEPTH | 600 FT. |
| MINIMUM FRONT YARD SETBACK | 50 FT. |
| MINIMUM SIDE YARD SETBACK | 30 FT. |
| MINIMUM COMBINED SIDE YARD SETBACK | 60 FT. |
| MINIMUM REAR YARD SETBACK | 40 FT. |
| MAXIMUM PERCENT LOT COVERAGE | 30% |
| MAXIMUM PERCENT TOTAL LOT COVERAGE | 65% |
| MAXIMUM NUMBER OF STORIES | 2 |
| MAXIMUM BUILDING HEIGHT | 40 FT. |
| MINIMUM IMPROVABLE AREA | 84,900 SQ. FT. |
| MINIMUM IMPROVABLE AREA DIAMETER CIRCLE | 189 FT. |

MATCH LINE (SEE SHEET 1)

MATCH LINE (SEE SHEET 2)



MATCH LINE (SEE SHEET 4)



GENERAL NOTES:

- PROPERTY KNOWN AS BLOCK 4001, LOTS 1, 2, 3 AS SHOWN ON SHEET 41 OF THE NEPTUNE TOWNSHIP TOWNSHIP TAX MAPS.
- BOUNDARY AND TOPOGRAPHIC INFORMATION TAKEN FROM A PLAN ENTITLED, "BOUNDARY AND TOPOGRAPHIC SURVEY, LOTS 1, 2, 3 & 8, BLOCK 4001, LOTS 13 & 14, BLOCK 4101 SITUATED IN NEPTUNE TOWNSHIP, MONMOUTH COUNTY, N.J.," PREPARED BY FWH ASSOCIATES, P.A. DATED SEPTEMBER 17, 2012.
- WETLANDS INFORMATION TAKEN FROM A PLAN ENTITLED "WETLANDS PLAN LOTS 1, 2, 3 & 8, BLOCK 4001, LOTS 13 & 14, BLOCK 4101 SITUATED IN NEPTUNE TOWNSHIP, MONMOUTH COUNTY, N.J.," PREPARED BY FWH ASSOCIATES, P.A. DATED SEPTEMBER 17, 2012 AND LAST REVISED ON JUNE 18, 2020.
- TOPOGRAPHIC INFORMATION SHOWN HEREON IS BASED UPON N.A.V.D. 1988 DATUM INFORMATION CONTAINED IN GENERAL NOTES REFERENCE (2).
- THE SITE IS LOCATED WITHIN THE C-1 DISTRICT.
- IT IS PROPOSED TO SUBDIVIDE THE LOT INTO 101 TOWNHOUSE UNITS WITH A RECREATION FACILITY IN ACCORDANCE WITH A SETTLEMENT AGREEMENT.
- FRESHWATER WETLANDS ARE SHOWN PURSUANT TO A MAP PREPARED BY FWH ASSOCIATES.
- ANY EXISTING IMPROVEMENTS ON SITE TO BE DEMOLISHED AND DISPOSED OF SHALL BE IN ACCORDANCE WITH APPLICABLE REGULATIONS.
- ROADWAYS, RECREATION BUILDING & AREAS AND STORMWATER BASINS ARE TO BE OWNED AND MAINTAINED BY HOMEOWNERS ASSOCIATION.
- COORDINATES SHOWN HEREIN BASED UPON N.A.D. '83 US SURVEY FEET.
- EXTERIOR AND INTERIOR DIMENSIONS MEET A MINIMUM CLOSURE STANDARD OF 1:15,000.

LEGEND:

- EXISTING EDGE OF WOODS
- EXISTING CLEANOUT
- EXISTING FIRE HYDRANT
- EXISTING WATER VALVE
- EXISTING WATER BOX
- EXISTING SIGN
- EXISTING LIGHT POLE
- EXISTING UTILITY POLE
- EXISTING GUY WIRE
- EXISTING OVERHEAD WRES
- EXISTING CHAIN LINK FENCE
- EXISTING WOOD FENCE
- EXISTING VINYL FENCE
- EXISTING MONUMENT FOUND
- EXISTING IRON PIPE FOUND
- PROPOSED MONUMENT TO BE SET (PRIVATE ROAD MONUMENTS TO BE SET ON A 2.00' OFFSET)

OWNER / APPLICANT

HOVSON'S INC.
4000 ROUTE 66
TINTON FALLS
NEW JERSEY 07753-7300

THE UNDERSIGNED HEREBY DECLARES THAT THEY ARE THE OWNER OF THE LANDS DELINEATED HEREON AND HEREBY CONSENTS TO THE FILING OF THIS MAP IN THE MONMOUTH COUNTY CLERK'S OFFICE

PRESIDENT OR SIGNING OFFICER
BE IT REMEMBERED THAT ON THIS _____ DAY OF _____ BEFORE ME, A NOTARY PUBLIC OF NEW JERSEY, PERSONALLY APPEARED _____ WHO I AM SATISFIED IS THE PERSON WHO HAS SIGNED THE ABOVE CONSENT

NOTARY PUBLIC OF NEW JERSEY DATE

OWNERSHIP OF DOCUMENTS
THIS IS A PRELIMINARY PLAT. DESIGNS INCORPORATED HEREIN, AS AN INSTRUMENT OF PROFESSIONAL SERVICE, IS THE PROPERTY OF PROFESSIONAL DESIGN SERVICES, L.L.C., AND IS NOT TO BE USED IN WHOLE OR IN PART FOR ANY OTHER PROJECT WITHOUT THE WRITTEN AUTHORIZATION OF PROFESSIONAL DESIGN SERVICES, L.L.C.

I CERTIFY THAT THE MUNICIPAL BODY HAS APPROVED THE STREETS, AVENUES, AND ROADS OR ALLEYS SHOWN HEREON.

MUNICIPAL CLERK

HAVE CAREFULLY EXAMINED THIS MAP AND TO THE BEST OF MY KNOWLEDGE AND BELIEF FIND IT CONFORMS WITH THE PROVISIONS OF THE MAP FILING LAW, RESOLUTION OF APPROVAL AND APPLICABLE MUNICIPAL ORDINANCES AND REQUIREMENTS.

MUNICIPAL ENGINEER (AFFIX SEAL)

APPROVED BY:
THE NEPTUNE TOWNSHIP PLANNING BOARD

APPROVED DATE RESOLUTION NUMBER

CHAIRMAN DATE

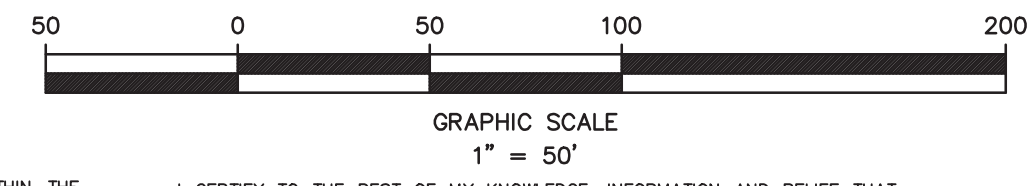
ADMINISTRATIVE OFFICER DATE

MUNICIPAL CLERK BOARD ENGINEER DATE

THE MONUMENTS SHOWN ON THIS MAP SHALL BE SET WITHIN THE TIME LIMIT PROVIDED IN THE "MUNICIPAL LAND USE LAW," P.L.1975, C.291 (C.40-150-1 ET SEQ) OR LOCAL ORDINANCE. I CERTIFY THAT A BOND HAS BEEN GIVEN TO THE MUNICIPALITY, GUARANTEEING THE FUTURE SETTING OF THE MONUMENTS AS DESIGNATED AND SHOWN ON THIS MAP.

I CERTIFY TO THE BEST OF MY KNOWLEDGE, INFORMATION AND BELIEF THAT THIS LAND SURVEY DATED SEPTEMBER 17, 2012 HAS BEEN MADE UNDER MY SUPERVISION AND MEETS THE MINIMUM SURVEY DETAIL REQUIREMENTS OF THE STATE BOARD OF PROFESSIONAL ENGINEERS AND LAND SURVEYORS AND THAT THE OUTBOUND CORNER MARKERS AS SHOWN HAVE BEEN FOUND, OR SET.

I CERTIFY THAT THIS MAP HAS BEEN MADE UNDER MY SUPERVISION AND COMPLIES WITH THE "MAP FILING LAW."

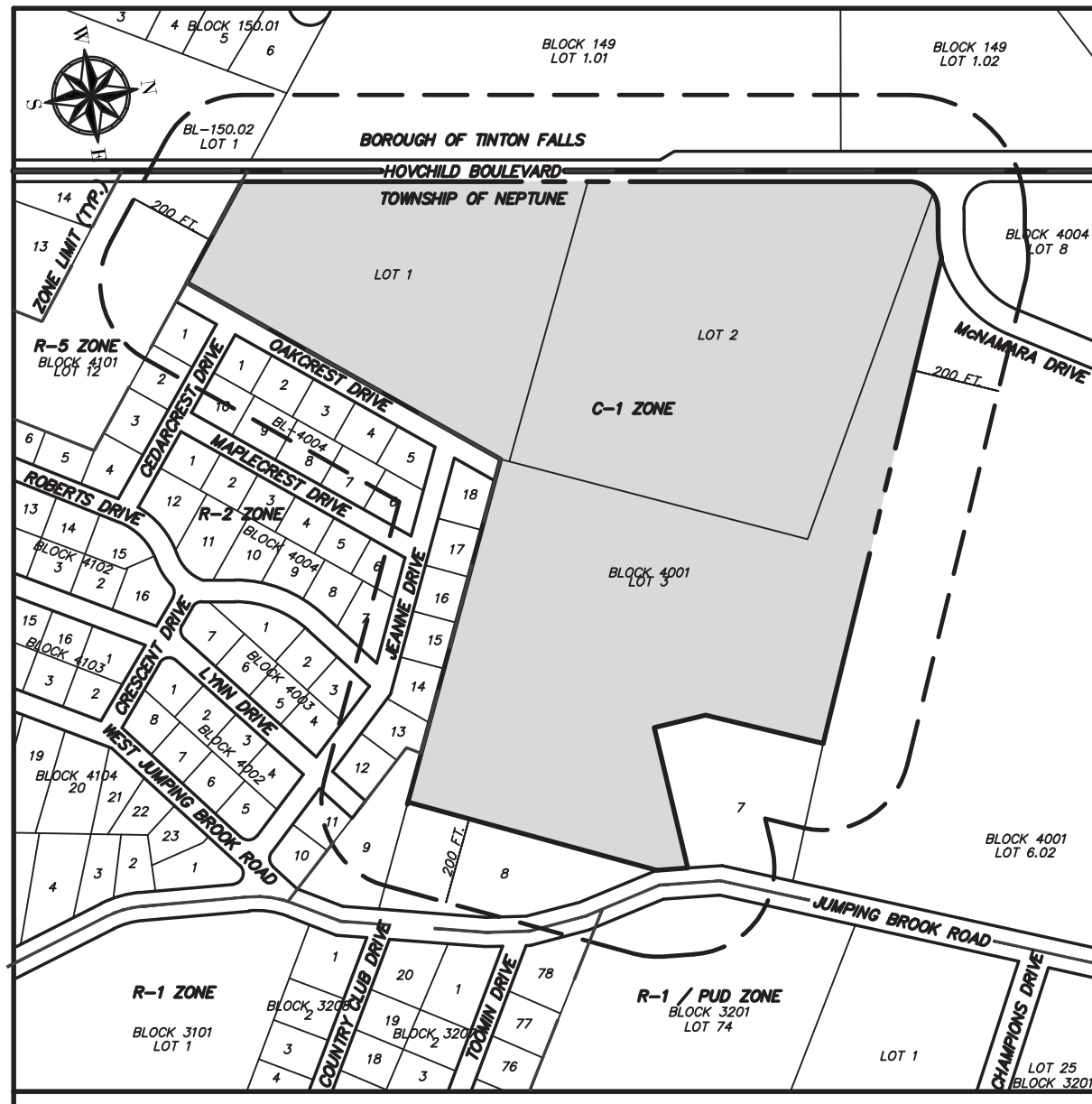


| NO. | DATE | REVISED PER ZONING BOARD OF ADJUSTMENT COMMENTS | SLM |
|-----|----------|---|---------|
| 1 | 11/22/21 | REVISED PER ZONING BOARD OF ADJUSTMENT COMMENTS | SLM |
| NO. | DATE | DESCRIPTION | DWN/CHK |

PDS
PROFESSIONAL DESIGN SERVICES, L.L.C.
CONSULTING ENGINEERS, LAND SURVEYORS, PLANNERS,
ENVIRONMENTAL SCIENTISTS, CONSTRUCTION SERVICES
1245 AIRPORT ROAD, SUITE 1, LAKEWOOD, NEW JERSEY 08701
PHONE 732-383-0900 FAX 732-383-0073
STEVEN@PDS-NJ.COM
NEW JERSEY STATE BOARD OF P.E. & L.S.
CERTIFICATE OF AUTHORIZATION NO. 24629125400
STEVEN METELSKI, JR., PLS
N.J. PROFESSIONAL LAND SURVEYOR LICENSE NO. 43383

PRELIMINARY & FINAL MAJOR SUBDIVISION
FINAL PLAT
VICTORIA GARDENS
FOR
TAX BLOCK 4001 - TAX LOTS 1, 2, 3 & 8
(TAX MAP REFERENCE SHEET No.)
TOWNSHIP OF NEPTUNE
MONMOUTH COUNTY NEW JERSEY

| | | | |
|---------------|---------------------|--------------------|---------|
| SCALE: 1"=50' | DATE: JULY 12, 2019 | JOB NUMBER: 321644 | SHEET 3 |
| DRAWN BY: SLM | CALC'D BY: | CHECKED BY: | 4 |



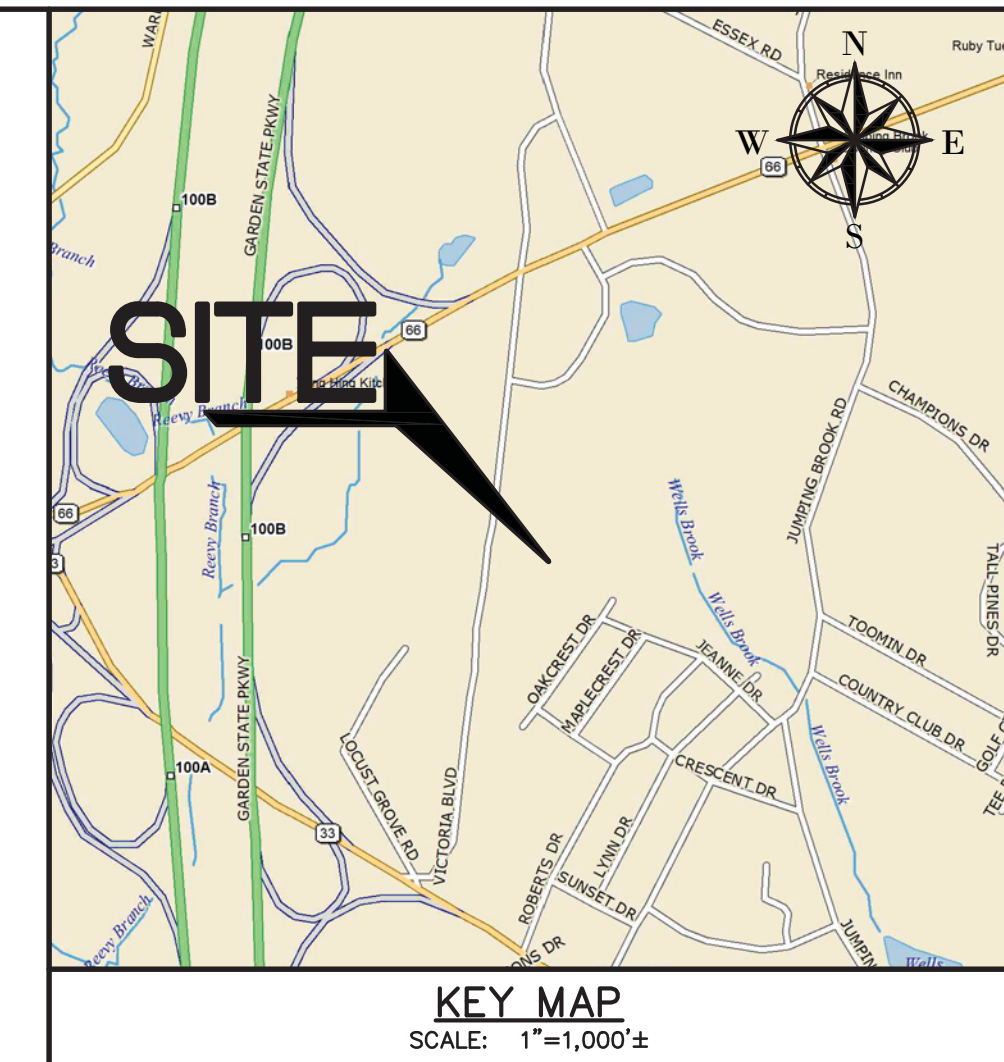
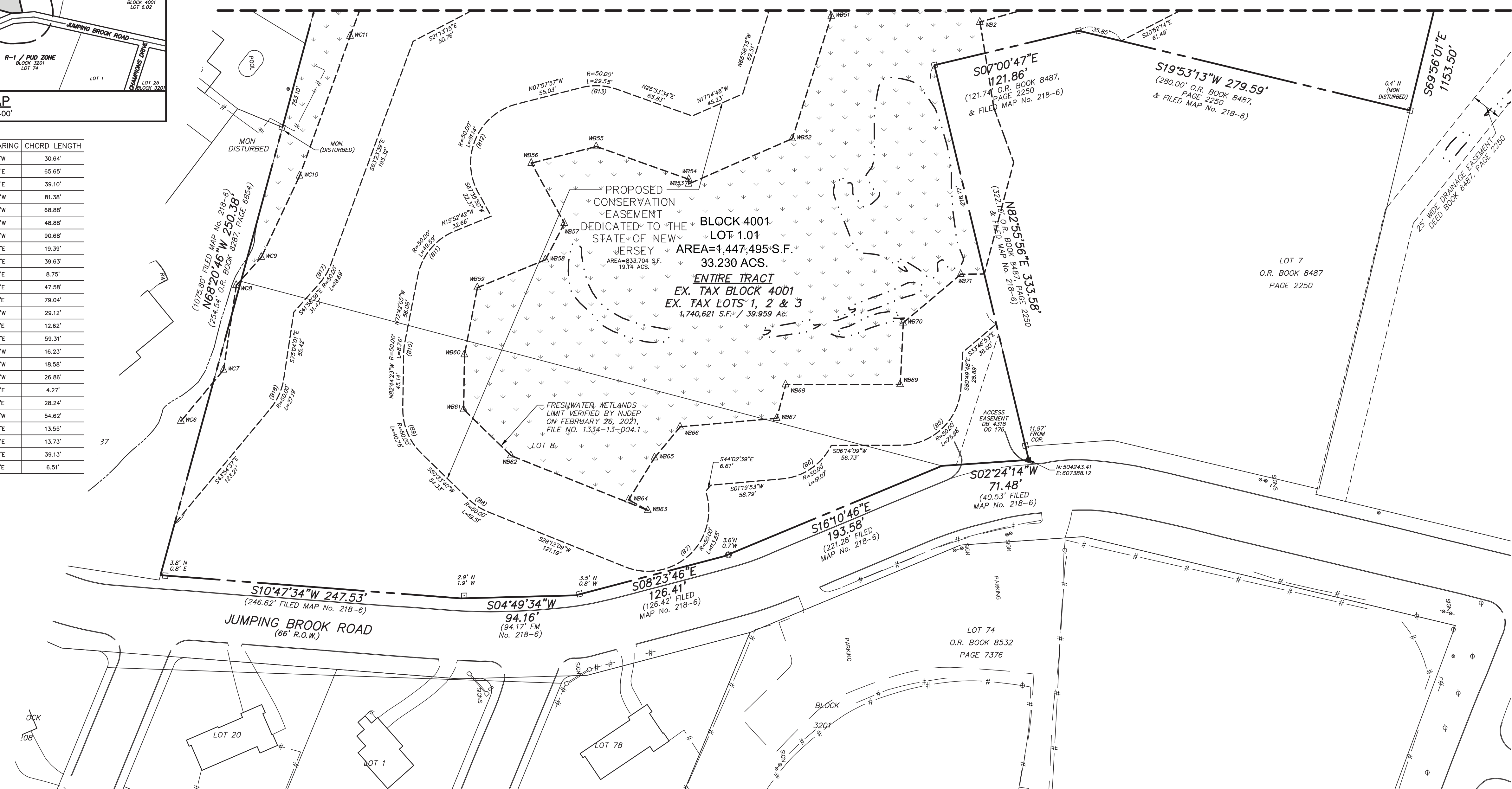
AREA MAP
SCALE: 1" = 400'

| CURVE | RADIUS | LENGTH | DELTA | TANGENT | CHORD BEARING | CHORD LENGTH |
|-------|---------|---------|------------|---------|---------------|--------------|
| (B1) | 65.00' | 30.93' | 27°16'08" | 15.77' | S04°31'07"W | 30.64' |
| (B2) | 259.83' | 65.62' | 14°30'52" | 33.09' | N89°07'31"E | 65.65' |
| (B3) | 50.00' | 40.17' | 46°01'59" | 21.24' | N16°06'20"E | 39.10' |
| (B4) | 50.00' | 95.06' | 108°56'08" | 70.01' | N59°43'45"W | 81.38' |
| (B5) | 50.00' | 75.98' | 87°03'56" | 47.50' | N37°17'50"W | 68.88' |
| (B6) | 50.00' | 51.07' | 58°31'20" | 28.01' | N27°55'47"W | 48.88' |
| (B7) | 50.00' | 113.55' | 130°07'23" | 107.53' | N36°51'32"W | 90.68' |
| (B8) | 50.00' | 19.51' | 22°21'31" | 9.88' | N39°22'55"E | 19.39' |
| (B9) | 50.00' | 40.75' | 46°41'57" | 21.58' | N73°54'39"E | 39.63' |
| (B10) | 50.00' | 8.76' | 10°22'17" | 4.39' | S77°43'14"E | 8.75' |
| (B11) | 50.00' | 49.59' | 56°49'23" | 27.05' | S44°17'24"E | 47.58' |
| (B12) | 50.00' | 91.14' | 104°26'13" | 64.50' | S60°11'04"E | 79.04' |
| (B13) | 50.00' | 29.55' | 33°51'32" | 15.22' | S08°57'49"W | 29.12' |
| (B14) | 50.00' | 12.65' | 14°29'53" | 6.36' | S89°17'21"E | 12.62' |
| (B15) | 50.00' | 63.48' | 72°44'53" | 36.83' | N00°04'20"E | 59.31' |
| (B16) | 50.00' | 16.31' | 18°41'05" | 8.23' | N30°33'48"W | 16.23' |
| (B17) | 50.00' | 18.69' | 21°25'04" | 9.46' | N52°41'07"W | 18.58' |
| (B18) | 50.00' | 27.19' | 31°09'24" | 13.94' | N59°29'19"W | 26.86' |
| (B19) | 50.00' | 4.27' | 4°53'23" | 2.13' | S72°48'10"E | 4.27' |
| (B20) | 50.00' | 28.83' | 32°48'31" | 14.72' | S51°43'10"E | 28.24' |
| (B21) | 75.00' | 55.91' | 42°42'30" | 29.32' | S29°18'58"W | 54.62' |
| (B22) | 75.00' | 13.57' | 10°22'06" | 6.80' | S83°27'33"E | 13.55' |
| (B23) | 75.00' | 13.75' | 10°30'11" | 6.89' | S73°01'24"E | 13.73' |
| (B24) | 50.00' | 40.21' | 46°04'19" | 21.26' | S44°44'09"E | 39.13' |
| (B25) | 65.00' | 6.51' | 5°44'15" | 3.26' | S11°59'03"E | 6.51' |

ZONING REQUIREMENTS (C-1 DISTRICT)

| | REQUIRED | PROVIDED |
|---|-------------------|-------------------|
| MINIMUM LOT AREA | 2.5 ACRES | 37 ACRES |
| MAXIMUM DENSITY | 3.4 D.U. PER ACRE | 2.7 D.U. PER ACRE |
| MAXIMUM FLOOR AREA RATIO | 0.6 | 0.1 |
| MINIMUM LOT WIDTH | 500 FT. | 1,640 FT. |
| MINIMUM LOT FRONTAGE | 500 FT. | 1,540 FT. |
| MINIMUM LOT DEPTH | 600 FT. | 1,510 FT. |
| MINIMUM FRONT YARD SETBACK | 50 FT. | 60 FT. |
| MINIMUM SIDE YARD SETBACK | 30 FT. | 50 FT. |
| MINIMUM COMBINED SIDE YARD SETBACK | 60 FT. | 100 FT. |
| MINIMUM REAR YARD SETBACK | 40 FT. | 50 FT. |
| MAXIMUM PERCENT LOT COVERAGE | 30% | 10.6% |
| MAXIMUM PERCENT TOTAL LOT COVERAGE | 65% | 28% |
| MAXIMUM NUMBER OF STORIES | 2 | 2 |
| MAXIMUM BUILDING HEIGHT | 40 FT. | 26 FT. |
| MINIMUM IMPROVABLE AREA | 84,900 SQ. FT. | 764,000 SQ. FT. |
| MINIMUM IMPROVABLE AREA DIAMETER CIRCLE | 189 FT. | 290 FT. |

MATCH LINE (SEE SHEET 3)



KEY MAP
SCALE: 1" = 1,000'±

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TINTON FALLS
NEW JERSEY 07753-7300

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PRESIDENT OR SIGNING OFFICER
BE IT REMEMBERED THAT ON THIS _____ DAY OF _____ BEFORE ME, A NOTARY PUBLIC OF NEW JERSEY, PERSONALLY APPEARED _____ WHO I AM SATISFIED IS THE PERSON WHO HAS SIGNED THE ABOVE CONSENT

NOTARY PUBLIC OF NEW JERSEY _____ DATE _____

I CERTIFY THAT THE MUNICIPAL BODY HAS APPROVED THE STREETS, AVENUES, AND ROADS OR ALLEYS SHOWN HEREON.

MUNICIPAL CLERK _____

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MUNICIPAL ENGINEER (AFFIX SEAL) _____

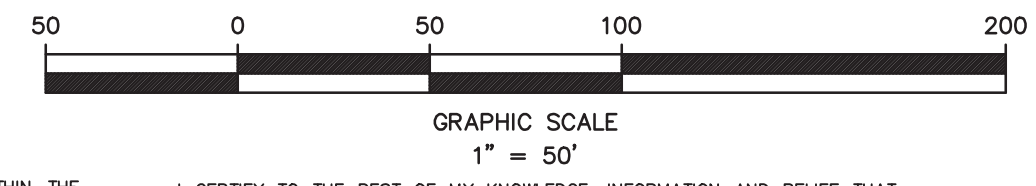
THE NEPTUNE TOWNSHIP PLANNING BOARD

| APPROVED DATE | RESOLUTION NUMBER |
|---|-------------------|
| CHAIRMAN _____ DATE _____ | |
| ADMINISTRATIVE OFFICER _____ DATE _____ | |
| BOARD ENGINEER _____ DATE _____ | |

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ANTHONY B. KOVAL, LICENSED PROF. LAND SURVEYOR AND NO. 32117

STEVEN METELSKI, JR., PLS PROF. LAND SURVEYOR NO. 05043393

| NO. | DATE | DESCRIPTION | SLM | DWN/CHK |
|-----|----------|---|-----|---------|
| 1 | 11/22/21 | REVISED PER ZONING BOARD OF ADJUSTMENT COMMENTS | | |

PDS
PROFESSIONAL DESIGN SERVICES, L.L.C.
CONSULTING ENGINEERS, LAND SURVEYORS, PLANNERS,
ENVIRONMENTAL SCIENTISTS, CONSTRUCTION SERVICES
1245 AIRPORT ROAD, SUITE 1, LAKEWOOD, NEW JERSEY 08701
PHONE 732.383.0600 FAX 732.383.0073
STEVEN@PDS-NJ.COM
NEW JERSEY STATE BOARD OF P.E. & L.S.
CERTIFICATE OF AUTHORIZATION NO. 246A29125400
STEVEN METELSKI, JR., PLS
N.J. PROFESSIONAL LAND SURVEYOR LICENSE NO. 43383

PRELIMINARY & FINAL MAJOR SUBDIVISION
FINAL PLAT
VICTORIA GARDENS
FOR
TAX BLOCK 4001 - TAX LOTS 1, 2, 3 & 8
(TAX MAP REFERENCE SHEET NO.)
TOWNSHIP OF NEPTUNE
MONMOUTH COUNTY NEW JERSEY

| | | | |
|-----------------|---------------------|--------------------|---------|
| SCALE: 1" = 50' | DATE: JULY 12, 2019 | JOB NUMBER: 321644 | SHEET 4 |
| DRAWN BY: SLM | CALC'D BY: | CHECKED BY: | 4 |

OWNERSHIP OF DOCUMENTS
THIS DOCUMENT IS THE PROPERTY OF PROFESSIONAL DESIGN SERVICES, L.L.C. AND IS NOT TO BE USED IN WHOLE OR IN PART FOR ANY OTHER PROJECT WITHOUT THE WRITTEN AUTHORIZATION OF PROFESSIONAL DESIGN SERVICES, L.L.C.