SEMI-NEW CONSTRUCTION

SINGLE FAMILY RESIDENCE

LOCATED AT:

1902 STRATFORD AVENUE

NEPTUNE TOWNSHIP. NJ

BLOCK: 906 LOT: 7

GENERAL NOTES & SPECIFICATIONS

1. THE CONTRACT DRAWINGS AND SPECIFICATIONS HAVE BEEN CAREFULLY CHECKED BY THE ARCHITECT TO PROVIDE CONTRACT DOCUMENTS WHICH CLEARLY DEFINE THE RESULTS THE CONTRACTOR IS EXPECTED TO ACHIEVE. PRIOR TO COMMENCEMENT OF CONTRACTED WORK, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT OF ANY CONFLICTS, OMISSIONS, OR LACK OF DEFINITION BETWEEN THE DRAWINGS AND THE SPECIFICATIONS OR BETWEEN THE CONTRACT DOCUMENT AND EXISTING SITE CONDITIONS IN ORDER TO RESOLVE ANY PROBLEM. THE COMMENCEMENT OF CONTRACTED WORK BY THE CONTRACTOR WILL BE DEEMED AS ACCEPTANCE OF THE CONTRACT DOCUMENTS AS BEING TRUE AND CORRECT AND NO REQUESTS FOR ADDITIONAL PAYMENT DUE TO CONFLICTS, OMISSIONS, OR LACK OF DEFINITION WILL BE ACCEPTED. ANY REVISED DRAWING OR OTHER DOCUMENT ISSUED TO THE CONTRACTOR SHALL NOT BE EXECUTED UNLESS ACCOMPANIED BY A LETTER OF AUTHORIZATION TO PROCEED. IN CASES WHERE COST ESTIMATES ARE REQUESTED FOR REVISIONS, THEY WILL BE PREPARED AND SUBMITTED PROMPTLY IN ORDER THAT THEY DO NOT UNDULY AFFECT THE PROGRESS OF WORK.
2. THE GENERAL CONTRACTOR HEREBY INDEMNIFIES, AGREES TO DEFEND AND HOLD HARMLESS THE OWNER FROM AND AGAINST ANY / ALL SUITS, CLAIMS, ACTIONS, LOSS, COST OR EXPENSE (INCLUDING CLAIMS FOR WORKMEN'S COMPENSATION BASED ON PERSONAL INJURY OR PROPERTY DAMAGE CAUSED IN THE PERFORMANCE OF THIS WORK BY THE GENERAL CONTRACTOR, HIS EMPLOYEES, AGENTS, SERVANTS, OR SUBCONTRACTORS ENGAGED BY HIM).
3. INSURANCE BY GENERAL CONTRACTOR SHALL BE AS FOLLOWS: COMPREHENSIVE GENERAL LIABILITY (BI AND PD COMBINED) LIMIT $1,000,000.00 PER OCCURRENCE.
   EXCESS LIABILITY (BI AND PD COMBINED) LIMIT AMOUNT OF $3,000,000.00 WITH COMPANIES AND FORMS AGGREGATE.
   WORKER'S COMPENSATION AND LIABILITY STATUTORY.
   BEFORE COMMENCEMENT OF WORK, CERTIFICATES OF INSURANCE SHALL BE FURNISHED TO THE OWNER, AND IF REQUESTED, THE ORIGINAL POLICIES. THE GENERAL CONTRACTOR AND HIS SUBCONTRACTORS MAINTAIN INSURANCE AT ALL TIMES WITH COMPANIES AND ON FORMS SATISFACTORY TO ARCHITECTS. TEN DAY ADVANCE WRITTEN NOTICE SHALL BE GIVEN TO THE OWNER BY THE INSURANCE CARRIER OF ANY CHANCE OR CANCELLATION OF COVERAGE SET FORTH ABOVE.
4. THE CONTRACTOR SHALL COMPLY WITH THE LOCAL BUILDING CODE AND REGULATIONS, LATEST EDITIONS, ALONG WITH ALL APPROPRIATE MUNICIPAL AND REGULATORY AGENCIES CODES AND REQUIREMENTS AND LANDLORD REQUIREMENTS. CONTRACTOR IS RESPONSIBLE FOR THE PREPARATION DEPARTMENT FORMS, DOCUMENTS, FEES AND THE SUBSEQUENT FILING THERE OF, INCLUDING OBTAINING ALL APPROVALS REQUIRED PERMITS, EQUIPMENT USE PERMITS, CONTROLLED INSPECTIONS & FINAL SIGN OFFS.
5. THE CONTRACTOR SHALL VISIT THE SITE TO VERIFY ALL JOB CONDITIONS, DIMENSIONS, AND DETAILS PRIOR TO SUBMITTING ANY BIDS. THE ARCHITECT SHALL BE NOTIFIED OF ANY DISCREPANCIES OR OMISSIONS WHICH WOULD INTERFERE WITH THE SATISFACTORY COMPLETION OF THE WORK PRIOR TO THE SUBMISSION OF BIDS.
6. DRAWINGS ARE NOT TO BE SCALED. DIMENSIONS STRINGS GOVERN. LARGE SCALE DETAILS SHALL GOVERN OVER SMALL SCALE PLANS.
7. ALL DIMENSIONS ARE FROM FINISH SURFACE TO FINISH SURFACE OR FROM FACE OF CONVECTOR TO FINISH SURFACE.
8. THE GENERAL CONTRACTOR SHALL COMPLY WITH THE LOCAL RULES AS TO THE HOURS OF OPERATION AVAILABILITY OF HANDLING MATERIALS, EQUIPMENT AND DEBRIS TO AVOID CONFLICT AND INTERFERENCE WITH BUILDING OPERATIONS. DEMOLITION MUST BE PERFORMED DURING HOURS SPECIFIED BY THE OWNER. THE DELIVERY OF MATERIALS EQUIPMENT AND DEBRIS MUST BE ARRANGED TO AVOID ANY INCONVENIENCE AND ANNOYANCE.

8. THE GENERAL CONTRACTOR SHALL COMPLY WITH THE LOCAL RULES AS TO THE HOURS OF OPERATION AVAILABILITY OF HANDLING MATERIALS, EQUIPMENT AND DEBRIS TO AVOID CONFLICT AND INTERFERENCE WITH BUILDING OPERATIONS. DEMOLITION MUST BE PERFORMED DURING HOURS SPECIFIED BY THE OWNER. THE DELIVERY OF MATERIALS EQUIPMENT AND DEBRIS MUST BE ARRANGED TO AVOID ANY INCONVENIENCE AND ANNOYANCE.

9. THE GENERAL CONTRACTOR SHALL MAKE AVAILABLE A MINIMUM OF THREE (3) FIRE EXTINGUISHES PER FLOOR (OR MORE), IF REQUIRED BY THE LOCAL ORDINANCE. FIRE EXTINGUISHES SHALL BE KEPT AND MAINTAINED ON THE PREMISES BY OWNER'S CONTRACTOR FOR THE DURATION OF THE ALTERATION.
10. ALL MATERIALS AS WELL AS METHODS AND PROCESSES USED IN THE PERFORMANCE OF THE WORK SHALL CONFORM TO THE STANDARD OF THE LOCAL CODE AND THE GENERAL CONTRACTOR SHALL BECOME FAMILIAR WITH SUCH REQUIREMENTS.
11. CONTRACTOR TO CONTROL CLEANING TO PREVENT DIRT OF DUST FROM LEAVING THE JOB SITE AND INFILTRATING AREAS NOT INVOLVED IN THE PROJECT.
12. NO MATERIAL SUBSTITUTIONS SHALL BE MADE WITHOUT FIRST INFORMING THE ARCHITECT. SUBMIT SUBSTITUTE MATERIAL SPECIFICATIONS AND SAMPLES FOR APPROVAL, IN WRITING, PRIOR TO COMMENCEMENT OF WORK.
13. THE GENERAL CONTRACTOR SHALL SUBMIT ALL SHOP DRAWINGS, COMPLETE WITH MANUFACTURER'S EQUIPMENT CUTS, FOR APPROVAL PRIOR TO COMMENCEMENT OF WORK. SUBMITTAL SHALL BE IN THE FORM OF: (A) REPRODUCIBLE SEPIA TRANSPARENCY (POSITIVE SIDE UP); AND (B) 3 BLACK AND WHITE PRINTS OF EACH DRAWING. THE CONTRACTOR WILL NOT COMMENCE FABRICATION BEFORE RECEIVING THE APPROVAL OF THE ARCHITECT
14. APPROVAL OF SHOP DRAWINGS SHALL INDICATE ONLY THAT SUCH DRAWINGS GENERALLY EXPRESS THE INTENT OF THE CONTRACT DOCUMENTS AND SHALL NEITHER BE CONSTRUED AS A COMPLETE CHECK NOR RELIEVE THE CONTRACTOR OF RESPONSIBILITY IN NOTE ABOVE.
15. THE GENERAL CONTRACTOR SHALL MAKE GOOD, AT HIS OWN EXPENSE, ANY DAMAGE TO EXISTING AREAS NOT DESIGNATED FOR REFURBISHMENT.
16. GENERAL CONTRACTOR SHALL COORDINATE HIS WORK WITH THE WORK OF ALL OTHER CONTRACTORS, WHETHER HIS OWN, OR THOSE ON SEPARATE CONTRACT LET BY THE OWNER. PRIOR TO COMMENCING WORK, THE GENERAL CONTRACTOR SHALL PROVIDE A WORK SCHEDULE TO ARCHITECT SHOWING ESTIMATED COMMENCEMENT AND COMPLETION DATES OF EACH TRADE. THE CONTRACTOR SHALL BE RESPONSIBLE TO INDICATE ANY CONFLICTS OR OMISSIONS.
17. UNLESS SPECIFICALLY NOTED OTHERWISE, ALL WORK SHOWN ON THESE DRAWINGS SHALL BE PERFORMED BY THE GENERAL CONTRACTOR.
18. THE AIA GENERAL CONDITIONS, LATEST EDITION, (DOCUMENT A201) SHALL BE BINDING ON THIS CONTRACT.
19. THE WORK REQUIRED UNDER THIS CONTRACT SHALL BE PERFORMED ON STRAIGHT TIME UNLESS OTHERWISE REQUIRED BY OTHER CLAUSES OF THIS CONTRACT OR AS DIRECTED BY THE CLIENT, ENGINEER, OR ARCHITECT. SHUTDOWN COORDINATION AS REQUIRED BY THE BUILDING LANDLORD.
20. NO EXTRAS WILL BE PERMITTED UNLESS SUBMITTED IN WRITING BY THE CONTRACTOR AND APPROVED BY THE TENANT AND THE ARCHITECT.
21. A COPY OF THE LATEST SET OF CONSTRUCTION DRAWINGS SHALL BE KEPT AT THE JOB SITE FOR REVIEW BY THE ARCHITECT.
22. ALL REQUISITIONS FOR PAYMENTS FROM THE CONTRACTOR TO THE TENANT SHALL BE SUBMITTED TO THE ARCHITECT ON AIA FORM G722, LATEST EDITION, FOR PRIOR APPROVAL.
23. ALL WORK SHALL BE GUARANTEED FOR A PERIOD OF ONE YEAR, UNLESS OTHERWISE NOTED. ALL CONTRACTORS SHALL SUBMIT IN WRITING THIS GUARANTEE TO THE CLIENT. THE GUARANTEE PERIOD IS TO BEGIN WHEN THE CLIENT OCCUPIES THE PREMISES.
24. THE CLIENT'S ARCHITECT OR HIS REPRESENTATIVES SHALL HAVE ACCESS TO THE PREMISES AT ALL TIMES AND TO THE FACTORY OR SHOP OF ANY OF THE SUBCONTRACTORS. ANY INFERIOR MATERIAL OR WORKMANSHIP SHALL BE RECONSTRUCTED AS APPROVED BY THE ARCHITECT & THE TENANT AT THE CONTRACTOR'S SOLE EXPENSE.
25. WHATEVER WORK IS DONE WHERE NO DEFINITE DETAILS OR INSTRUCTIONS ARE GIVEN, THE CONTRACTOR OR SUBCONTRACTOR SHALL PERFORM THE WORK IN ACCORDANCE WITH THE HIGHEST STANDARDS OF WORKMANSHIP AND MATERIALS AS DEFINED BY THE GOVERNING TRADE ORGANIZATION.
26. UPON COMPLETION OF WORK, THE CONTRACTOR WILL PROVIDE REPRODUCIBLE "AS-BUILT" TO SHOW ALL MODIFICATIONS OF THE CONTRACT DOCUMENTS, AS WELL AS ALL LIGHTING AND POWER CIRCUITRY (INCLUDING BREAKER NUMBERS) AS ACTUALLY INSTALLED.
27. ALL MATERIALS SHALL, WHEN APPLICABLE AND REQUIRED, COMPLY WITH THE DIRECTIVES OF THE LOCAL BOARD OF STANDARDS AND APPEALS (B.S.A.), AND THE MANUFACTURER SHALL BE ABLE TO PRODUCE A LOCAL B.S.A. NUMBER ON DEMAND.
28. ALL MATERIALS SHALL BE NEW AND SHALL BE DELIVERED TO THE SITE IN THEIR ORIGINAL PACKAGING.
29. NO MATERIAL SUBSTITUTIONS SHALL BE MADE WITHOUT FIRST INFORMING THE ARCHITECT. SUBMIT SUBSTITUTE MATERIAL SPECIFICATIONS AND SAMPLES FOR APPROVAL, IN WRITING, PRIOR TO COMMENCEMENT OF WORK.
30. G.C. TO OBTAIN ALL PERMITS, SIGN-OFFS AND EQUIPMENT USE PERMITS.
31. ALL WORK SHALL BE ON STRAIGHT TIME, WORK WHICH IS REQUIRED BY THE BUILDING OWNER/LANDLORD TO BE PERFORMED AFTER HOURS SHALL BE COORDINATED WITH TENANTS. ELECTRICAL TIE IN'S AND DRILLING TO BE COORDINATED WITH OWNER AND DONE AFTER HOURS.
32. PREMISES TO BE FINE CLEANED PRIOR TO TURNING OVER TO OWNER.

AERIAL PHOTO

BUILDING DATA

ADDRESS:	1902 STRATFORD AVENUE NEPTUNE TOWNSHIP. NJ
BLOCK:	906
LOT:	7
ZONE:	B-1
DESCRIPTION OF WORK:	SEMI-NEW CONSTRUCTION
USE GROUP:	RESIDENTIAL - (REMAIN)
CONSTRUCTION CLASS:	VB - (REMAIN)
FIRE PROTECTION:	NON-SPRINKLERED
APPLICABLE CODES:	NEW JERSEY UNIFORM CONSTRUCTION CODE (NJUCC, NJAC 5:23 2018 INTERNATIONAL RESIDENTIAL CODE, NEW JERSEY EDITION ICC/ANSI A117.1-2003 (N.J.A.C. 5:23-7.1) 2018 NATIONAL STANDARD PLUMBING CODE (N.J.A.C. 5:23-3.15) 2017 NATIONAL STANDARD ELECTRIC CODE (N.J.A.C. 5:23-3.16) 2018 INTERNATIONAL ENERGY CONSERVATION CODE - (N.J.A.C. 5:23-3.18) 2018 INTERNATIONAL MECHANICAL CODE (IMC)(N.J.A.C. 5:23-3.20) 2018 INTERNATIONAL FUEL GAS CODE (IFGC)(N.J.A.C. 5.23-3.22)

PROJECT DATA

SQUARE FEET:	2,896 S.F.(EXIST) +0 S.F. (NEW)
VOLUME:	19,484 C.F.
AREA OF LAND DISTURBANCE:	920 S.F.
NUMBER OF STORIES:	2-1/2 STORY
BUILDING HEIGHT:(35')	24' 6-1/2" (PROP.)
LOT AREA:	6,250 S.F. (EXIST.)

SETBACKS

FRONT REQUIRED (15')	9.88' (EXIST.)
COMBINED SIDE REQUIRED (20')	32.55' (EXIST.)
ONE SIDE REQUIRED	5.41' (EXIST.)
REAR REQUIRED (20')	70.61' (EXIST.)
BUILDING COVERAGE:	11.79% (737' S.F.) (CONFORMS)

SHEET INDEX

SHEET INDEX	
Sheet Number	Sheet Name
A101	Cover Sheet
A102	Notes
A103	Notes Cont.
A104	Floor Plans
A105	Structural Plans
A106	Elevations
A107	Sections
A108	Sections
A109	Electrical Plans

Generated by RES*check-Web* Software

Compliance Certificate

Project 1902 Stratford Ave

Energy Code:	**2018 IECC**
Location:	**Neptune City, New Jersey**
Construction Type:	**Single-family**
Project Type:	**Addition**
Climate Zone:	**4 (5253 HDD)**
Permit Date:	
Permit Number:	

Construction Site: 1902 Stratford Ave. Neptune, New Jersey

Owner/Agent:

Designer/Contractor: Arch Design Studios

Compliance: Passes using UA trade-off

Compliance: **6.5% Better Than Code** Maximum UA: **62** Your UA: **58** Maximum SHGC: **0.40** Your SHGC: **0.23**

The % Better or Worse Than Code Index reflects how close to compliance the house is based on code trade-off rules. It DOES NOT provide an estimate of energy use or cost relative to a minimum-code home.

Slab-on-grade tradeoffs are no longer considered in the UA or performance compliance path in REScheck. Each slab-on-grade assembly in the specified climate zone must meet the minimum energy code insulation R-value and depth requirements.

Envelope Assemblies

Assembly	Gross Area or Perimeter	Cavity R-Value	Cont. R-Value	Prop. U-Factor	Req. U-Factor	Prop. UA	Req. UA
Ceiling: Flat Ceiling or Scissor Truss	185	38.0	0.0	0.030	0.026	6	5
Wall: Wood Frame, 16" o.c.	664	21.0	0.0	0.057	0.060	36	38
Door: Solid Door (under 50% glazing)	5			0.300	0.320	2	2
Window: Wood Frame SHGC: 0.23	25			0.300	0.320	8	8
Floor: All-Wood Joist/Truss	185	30.0	0.0	0.033	0.047	6	9

Compliance Statement: The proposed building design described here is consistent with the building plans, specifications, and other calculations submitted with the permit application. The proposed building has been designed to meet the 2018 IECC requirements in RES*check* Version : REScheck-Web and to comply with the mandatory requirements listed in the RES*check* Inspection Checklist.

Name - Title Signature Date

Project Title: 1902 Stratford Ave Report date: 02/17/22
Data filename: Page 1 of 1

TAX MAP

ANTHONY MALTESE, P.E., P.L.S., P.P. ,C.M.E.
PROFESSIONAL ENGINEER
NJ LICENSE No. 42579

ANTHONY J. CHURCH
REGISTERED ARCHITECT
NJ LICENSE No. 21AI00514600

ATTENTION :
THIS DRAWING AND ALL INFORMATION CONTAINED HEREIN IS AUTHORIZED FOR USE ONLY BY THE PARTY FOR WHOM THE WORK WAS CONTRACTED OR TO WHOM IT IS CERTIFIED.
THIS DRAWING MAY NOT BE COPIED ,REUSED ,DISCLOSED ,DISTRIBUTED OR RELIED UPON FOR ANY OTHER PURPOSE WITHOUT THE WRITTEN CONSENT OF ARCH DESIGN STUDIOS LLC

REVISION TABLE

NUMBER	DATE	REVISED BY	DESCRIPTION

NOTES:

PROJECT DESCRIPTION: SEMI-NEW CONSTRUCTION SINGLE FAMILY RESIDENCE LOCATED AT: 1902 STRATFORD AVENUE NEPTUNE TOWNSHIP. NJ

DATE:	02-17-2022
DRAWN BY:	DAK
SCALE:	AS NOTED
JOB #:	479
SHEET:	1 OF 9

A101

ARCH DESIGN STUDIOS
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- RESIDENTIAL DESIGN
- COMMERCIAL DESIGN
- INDUSTRIAL DESIGN
- RELIGIOUS / INSTITUTIONAL DESIGN
- HEALTH CARE DESIGN
- STRUCTURAL DESIGN
- INTERIOR DESIGN

GENERAL NOTES:

GENERAL CONDITIONS

USE OF DRAWINGS: These drawings are the property of the Architect/Engineer and shall not be used without the consent. Drawings shall not be used for issue of building permit unless signed and sealed by the Architect/Engineer. These drawings are for the intended use of a qualified N.J. licensed contractor who is familiar with the codes and standards in the State of New Jersey.These drawings are the property of the Architect/Engineer & shall not be used without consent.

REGULATORY REQUIREMENTS: These contract documents were prepared in accordance with the New Jersey Edition of the 2018 International Building Code (IBC) and the New Jersey Uniform Construction Code: title 5:23 (UCC). The contractor & all of the sub-contractors shall conform to this & other applicable local, county, state & federal codes, laws, regulations, ordinances and requirements.

ENERGY CONSERVATION These contract drawings were prepared to comply with the ASHRAE 90.1-2016 Code. A Com-Check will be provided for submission for building permit in conjunction with these documents.

BARRIER FREE: These contract drawings were prepared to comply with the Barrier Free Subcode (Chapter 11 of IBC/2018 NJAC 5:23-7 and the ICC/ANSI A117.1-2009 building code requirements for the submission of building permit in conjunction with these documents.

REHABILITATION SUBCODE: These contract drawings were prepared to comply with the Rehabilitation subcode NJAC-5:23-6 provided within the N.J. Uniform Construction Code, subchapter 6 for submission for building permit in conjunction with these documents.

REHABILITATION SUBCODE: Any changes to or deviations from these drawings shall not be made without the Architect's/Engineer's consent. Changes to the plans by the owner and/or contractors shall be the responsibility of the persons making such changes. Any drawings or framing plans submitted by others showing any changes to Architect's plans shall be the responsibility of the Contractor and/or Owner. No deviations from the work shown or reasonably implied shall be undertaken without the Architect's/Engineer's written consent. A copy of which will be filed with the construction official. Architectural plans shall take precedence over any shop drawings prepared by outside consultants. Architect/Engineer assumes no liability for shop drawings or changes in structure.

MANUFACTURER'S SPECIFICATIONS: All materials shall be installed in strict accordance with the manufacturer's written specifications or by the material's institute. Manufacturer shall be responsible for the performance of their product and shall indemnify and save harmless the Owner, Architect/Engineer and General Contractor in case of failure. Contractor shall provide shop drawings for review and approval by Architect/Engineer prior to installation.

DRAWINGS: Do not scale drawings, follow written dimensions. Notify Architect/Engineer of any discrepancies prior to commencement of work. Construction notes on drawings are inclusive of all trades and shall be read and understood by all contractors & subcontractors before construction begins. Architectural plans shall take precedence over any shop drawings prepared by outside consultants. Architect/Engineer assumes no liability for shop drawings or changes in structure without written approval by the Architect/Engineer. These specifications are intended to supplement the working drawings which together are to be used for performing the work. Where the specifications disagree with the drawings, the drawings shall supersede the specifications. The Contractor is responsible for notification of Architect/Engineer for any necessary clarifications to construction documents or specifications. Details shown in any building section or drawing apply to all similar sections unless otherwise noted. Contractor to notify Architect/Engineer if clarification is needed. Any details not shown on drawing or provided by manufacturer should be brought to the immediate attention of the Architect/Engineer before continuing construction.

SAFETY: All contractors to provide all necessary barricades and safety precautions and strictly adhere to all covering codes on safety, including State, Local , and the OSHA Act. The contractor is responsible to provide safety for all person's entering the work site or work area during construction.

INDEMNITY: The Contractor shall indemnify and save the Owner and Architect/Engineer & their agents and their employees harmless form all claims for the loss of or damage to property or personal injuries to, or death or any and all persons, including without limitations employees, agents, servants or contractors or subcontractors arising out of work done by the contractor, his employees, agents, servants and/or subcontractors.

FIELD VISIT: All contractors are to visit the site prior to commencement of work and familiarize themselves with the area and requirements for the job. Contractor to notify Architect/Engineer prior to commencement of work.

JOB SUPERVISION: The Architect/Engineer has not be retained for any construction supervision or any inspection of this job & therefore is not responsible for this phase of the contract.

LABOR & WORK: All work shall be performed in a workman like manner. The Contractor shall be solely responsible for all conduct and quality of the work.

GUARANTEES: All work shall be guaranteed for a period of one year after final payment has been made to contractor.

GENERAL REQUIREMENTS

All materials and equipment shall be approved for use as required by governing municipal, State, and/or Federal agencies and shall bear all required approvals.

CODE COMPLIANCE: Contractor to secure a copy and be familiar with the 2018 International Building Code New Jersey Edition prior to start of construction. These drawings are in compliance with the Architect's/Engineer's interpretation of the 2018 New Jersey Edition of the International Building Code. It is assumed that when a building permit is issued by the building inspector, that he has thoroughly examined the drawings and specifications according to the UCC, IBC & IRC requirements. Any changes, made by any party during construction shall be the responsibility of the person making changes. Architect/Engineer will not take any responsibility for changes not approved.

FIELD CONFLICTS: It is the sole responsibility of the G.C. to notify the Professional of Record (P.O.R.) in writing, in a timely manner, of any conflicts in the field so that the P.O.R. may verify field conditions. Should the G.C. or owner proceed without written verification from the P.O.R., the G.C. shall assume all costs associated with the redesign, materials and construction costs to conclude the project.

EXISTING CONDITIONS: (if applicable) All conditions and dimensions shall be verified by the contractor prior to the start of construction. The contractor shall report, in writing, discrepancies to the Architect/Engineer immediately upon discovery of such conditions that are shown on drawings. Contractor shall be responsible for notifying the owner & Architect/Engineer of any existing surfaces that are not level or plumb. The contractor shall discuss with the owner the options of repairing these existing conditions as well as the costs for the repair for the unleveled surfaces. Unlevel floor & walls surfaces shall be the responsibility of the owner. The Architect/Engineer shall not be responsible for existing conditions.

HIDDEN CONDITIONS: Contractor is to familiarize himself with the construction drawings & existing conditions prior to submission of bid for compliance with design intent of proposed work & shall notify Architect/Engineer of any condition hidden or unseen which is not addressed on plans. Exploratory work to be provided by contractor as required to assess the existing conditions prior to commencement of work.

SITE WORK

SUBSURFACE CONDITIONS: Soil boring testing and log shall be submitted to Architect/Engineer for review prior to commencement of work. Footings are designed for a minimum soil bearing capacity of 2000 psf unless otherwise noted. The contractor shall investigate the subsurface to ensure the soil has a safe bearing capacity of 2000 pounds per square foot. Footing elevations shall be adjusted to the actual levels accepted bearing strata found upon excavation. Notify Architect/Engineer of any unusual conditions. Failure of the contractor to request a soil test shall impose the burden or responsibility for adequacy of soil bearing qualities an subsequent damage upon the contractor. A soil bearing value found to be less than the assumed value shall be reported to the Architect/Engineer for footing redesign. Any buildings that are more than three stories or 40 feet in height above the grade plan shall require soil testing & reporting as per Section 1803 in the IBC.

EARTHWORK: Strip and stockpile topsoil for later redistribution when finished grade is completed. Spread soil, hand grade and seed lawn. Excess excavated materials shall shall be distributed to provide a smooth transition to undisturbed grade. Provide clean fill as required to bring finished grade to required level. Slope grade away from building. Finished grade shall be 8" minimum below wood framing.

EXCAVATION BACK FILLING & COMPACTING: Excavate as required to install footings, slabs, foundation walls, retaining walls, masonry piers & trench work, including mechanical and electrical trades as required by drawings for the proper completion of work. Backfill with clean soil, free of deleterious materials. Finish grade around new construction and slope grade away from building. Contractor shall make the proper provisions to drain the excavated areas as required. Compact soil in areas to receive concrete floors or slab to 95%. Contractor is responsible for all cutting filling and rough grading required to bring the project areas to finished grade. Do not allow any of the work performed or installed to be covered prior to all of the required inspections, tests and approvals. Should any of the work be covered before approvals have been obtained, the contractor shall uncover at no additional costs. Contractor shall not backfill until the the foundation walls are installed and the first floor is framed and/or foundation walls have been braced.

FROST PROTECTION, SLOPE & GRADING: Bottom of exterior footings shall be a minimum of 3'-0" below finished grade for frost protection. Maximum slope between the bottom of adjacent stepped footings shall be a ratio of one vertical to two horizontal. All grading shall be done to direct all surface water away from the building with a minimum slope of 1/4" per foot. Slope all finished grade away from building.

EROSION PROTECTION: General Contractor shall be responsible to make provisions for prevention of soil erosion where water impacts the ground from the edge of the roof, downspout, scupper or other collection/diversion device & shall direct water away from foundation.

FIELD ENGINEERING: The General Contractor shall employ a New Jersey licensed Land Surveyor to establish and maintain benchmarks to set lines and levels and to properly locate each element of the project including the corners of the property and/or the corners of the proposed work, stakes for finished grading and other site amenities.

LANDSCAPING: Materials and labor for planting will be supplied by owner unless otherwise noted in the contract. The General Contractor shall coordinate with the with the Landscape Contractor and/or Landscape Architect/Engineer where required.

SIDEWALKS, RAMPS & SLABS: Concrete slabs, sidewalks & ramps shall be a minimum of 3000 psi Portland Cement. Concrete curbing to be a minimum of 4000 psi. Provide 6x6 1.4/1.4 welded wire mesh in all walks, ramps and slabs to meet ASTM A-185. Provide expansion joints at intervals not to exceed 30' and broom finish all horizontal surfaces to provide barrier free accessibility.

FLOOD RESISTANT CONSTRUCTION

All buildings and structures constructed in whole or part in flood hazard areas including 'A' or 'V' zones shall conform and be constructed in accordance to Section 1612 of the New Jersey Edition of the IBC, ASCE 7 & ASCE 24.

ELEVATION DOCUMENTATION: The General Contractor shall employ a New Jersey licensed Land Surveyor to establish the flood elevation and to certify that the finished floor is elevated to or above the the design flood elevation as per the requirements of Section 1612 in the NJ Edition of the IBC. Asbuilt elevation documentation shall be provided upon completion as per Section 1612 in the IBC & ASCE 24.

ENCLOSED AREAS BELOW THE DESIGN FLOOD ELEVATION: Enclosed areas including below the flood elevation shall meet the requirements of Section 1612 of the NJ Edition of the IBC & ASCE 24. Contractor to provide flood vents as shown on the construction documents. Flood vents are to be manufactured by Smart Vent and to be certified to cover 200 sf of enclosed area. Flood vents shall not be within 3" in any direction in the plane of a wall. Contractor to ensure that the bottom of all vents are to be installed one foot or less above the adjacent ground level. The difference between the exterior & interior floodwater level shall not exceed 1 foot. All garages located within a flood zone shall conform to Section 9.3 in ASCE 24 & shall have flood vents installed to meet the requirements of Section 2.6 in ASCE 24 if the slab is below the BFE.

HIGH HAZARD FLOOD ZONES: All structures located in a 'V' zone are to comply with Section 1612 of the NJ Edition of the IBC & ASCE 24. All foundations constructed in a 'V' High Hazard zone are to supported on piles as per Section 1612 in the IBC & ASCE 24. Structural drawings for pile foundation are to be provided by owner as prepared by a NJ licensed Structural Engineer. Walls located below the design flood elevation in a high hazard zone shall be break away wall construction to comply with Section 1612 in the NJ Edition of the IBC & ASCE
& shall be designed to resist a minimum load of 10 psf or more than 20 psf. Electrical, plumbing and mechanical system components are not to be mounted on or penetrate through break away walls.

GENERAL DEMOLITION

A utility mark out is to be provided before the commencement of work. All Utility lines are to be terminated in an approved manner. The general contractor shall be responsible for fully anticipating the full extent of demolition work and apportioning it to the proper trade. Contractor shall be responsible for obtaining all necessary demolition permits prior to to commencement of work. Contractor to field verify all work which is to be demolished prior to commencement of work as required for extent of job. No bearing partitions are to be removed before adequate temporary supports are in place. Provide protection for people and property from any structural failure, etc. with bracing, shoring, or needling.

BUILDING DEMOLITION:Demolish building to the extent indicated on drawings. Fill all excavated areas and compact soil to 95%.

SELECTIVE DEMOLITION: Selective portions of the interior and/or the exterior of the including plumbing, electrical, heating and cooling systems, are to be removed and the remaining portions are to be patched to match and aligned with remaining adjacent surfaces. Remove above and below grade construction which will interfere with the proposed addition.

DEMOLITION SITE VISIT: One (1) site visit will be provided by Architect/Engineer to verify existing conditions that were hidden and/or unseen during original survey for as built drawing preparation. If exploratory work is requested on drawings Contractor is to have all problem areas open and ready for inspection at time of site visit or additional fees will be the responsibility of the Contractor. Contractor to field verify all work which is to be demolished.

DEMOLITION DRAWINGS: Demolition drawings have been prepared based on the knowledge at the time of original survey and as-built investigation by Architect/Engineer. It shall be the contractor's responsibilities to visit the site and examine all construction documents in order to fully determine the scope of and intent of the work involved. Remove existing work indicated by dashed lines.

DEMOLISHED MATERIALS: Demolished materials/ equipment which are to be reused are to be carefully removed and stored in a protected area. Unless otherwise noted all demolished materials/equipment are to become the Property of the contractor. No on-site sales of materials will be permitted. All demolished material to be disposed of at a legally approved dump site and shall be continuously hauled away and not allowed to accumulate on site.

PROTECTION OF WORK: Protect all work scheduled to remain during demolition. Patch and repair remaining construction as required to match existing work. Replace or repair all damaged work areas effected by demolition or alteration to match existing in place. Provide protection for people and property form any structural etc. with bracing, shoring, or needling. Contractor to maintain weather protection for existing structure to remain as required.

CONCRETE

MATERIALS: All concrete materials are to comply with the standards listed in American Concrete Institute ACI 318 and ACI 332 and Chapter 19 in the IBC.

INSTALLATION: No concrete shall be poured in freezing weather, on frozen or wet ground, or while it is raining.

CONCRETE STRENGTH:

(As noted below unless otherwise specified on drawings)

CAST IN PLACE CONCRETE FOOTINGS: Ultimate strength of concrete footings shall not be less than 3500 psi. in 28 days. Footings to be a minimum of 3'-0" below finished grade and rest on firm undisturbed soil (virgin soil), unless otherwise noted on the drawings.

CAST IN PLACE CONCRETE SLABS: Ultimate strength of concrete slabs shall not be less than 4000 psi. in 28 days. Slab thickness is as shown on construction drawings. Ultimate strength of concrete slabs on grade in garage areas and aprons shall be not less than 4000 psi. In 28 days, with 6"x6"- 1.4/1.4 welding wire mesh conforming to ASTM A185 set midway in slab and lap two meshes at splices, unless otherwise noted.

CONCRETE SLAB BASE COURSE: All concrete slabs to be poured on 4" minimum of compacted gravel or crushed stone containing not more than 10% of material that passes through a No. 4 sieve unless otherwise noted on the construction drawings. Provide a 6 mil., class 1 Polyethylene Vapor Barrier under all interior concrete slabs on grade. All interior floor slabs in habitable areas shall have 1"x24" rigid insulation installed horizontally and vertically around the perimeter of the slab unless otherwise noted.

REINFORCING: All reinforcing bars shall be new billet steel meeting the requirements of Section 1907 &1908 in the IBC & ASTM A615, A706 or A996. The minimum yield strength of reinforcing steel shall be grade 60 unless otherwise noted & shall comply with all ACI 318 code requirements. Length of reinforcing bar splices shall conform to ACI building code requirements, but in no case less than 1 " from the top and over any pipes and conducts in slab. Contractor to provide the necessary supports for reinforcement including chairs, bolsters, spacers, etc.

CONCRETE ENCASED ELECTRODES: All reinforcing bars 1/2" more in diameter & 20 feet or more in length, the rebar are considered available for grounding. The bars are required to be bonded to the grounding electrode system in new construction The bars must be encased in 2" of concrete minimum. See electrical notes.

GROUT: Grout shall be nonshrinkable grout conforming to ASTM C476, and shall have a specified strength at 28 days of 3000 psi. Proportions shall conform to Section 2103 in the NJ Edition of the IBC. Pregrouting of base plates will not be permitted.

PRECAST CONCRETE LINTELS: Concrete lintels are to be the sizes indicated on the drawings. Ensure all edges and surfaces are straight and true. Minimum Fc=5000 psi at 28 days and the lintel is to be fabricated with the steel reinforcement as indicated on drawings.

MASONRY

CONCRETE UNIT MASONRY: Masonry walls shall conform to & be constructed in accordance to with Chapter 21 (in its entirety) of the IBC, NJ Edition. Concrete block unit masonry is to conform to ASTM C90, Grade N, Type 1. Units shall have a minimum compressive strength of (F'm) of 1500 psi on the net cross sectional area at 28 days. Units shall not be installed prior to the required 28 day strength. Mortar for unit masonry to be Type 'M' or 'S' and shall conform to ASTM C270 & Articles 2.1 & 2.6A of TMS 602/ACI 530.1/ASCE 6 Surface bonding mortar shall comply with ASTM C 887 & Surface boning of concrete masonry units shall comply with ASTM C 946. Masonry construction shall comply with the requirements of Section 2104.1.1 through 2104.4 in the IBC & with TMS 602/ACI 530.1/ASCE 6. All concrete block masonry wall sections & piers less than two square feet in cross sectional area shall be fully grouted. Provide vertical masonry control joints at a maximum of 25 feet on center & at all beams , headers & windows unless otherwise detailed on Construction Drawings. Masonry control joints shall conform with the provisions of TMS 602/ACI530.1/ASCE 6 & the NJ Edition of the IBC.

BOND BEAMS: Bond beams shall be provided at the top of all CMU walls & at horizontal intervals not to exceed eighteen time the wall thickness, unless otherwise noted on the construction drawings. Reinforce all bond beams with a minimum of two (2) continuous #5 bars with a minimum of 3000 psi small aggregate concrete. Mortar will not constitute grout.

HORIZONTAL MASONRY JOINT REINFORCEMENT: Truss type reinforcing conforming with ASTM A951; 9 gauge galvanized. Install every other course unless otherwise noted.

METAL ACCESSORIES: Joint reinforcement, anchors, ties and wire fabric shall conform to Article 2.4 of TMS 602/ACI 530.1/ASCE 6. All metal accessories shall comply with Capter 21 in the IBC. Corrosion protection requirements for all metal accessories shall conform to Article 2.4 in TMS 602/ACI530.1/ASCE 6.

LATERAL SUPPORT: Masonry walls shall be laterally supported as per TMS 602/ ACI530.1/ASCE 6 and the NJ Edition of the IBC. Lateral support shall be provided by cross walls, pilasters, buttresses or structural frame members when the limiting distance is taken horizontally. Spacing of lateral support is not to exceed the values dictated in Table 5.5.1 in TMS 602/ACI530.1/ASCE 6.

MORTAR: Mortar for unit masonry shall conform to ASTM C270, Type 'M' or 'S'. the type of mortar shall be in accorndace with Section 2103 & Articles 2.1 & 2.6A of TMS 602/ACI 530.1/ASCE 6. Mortar joint thinckness tolerances & placement shall comply with TMS 602/ACI 503.1/ASCE 6. Place all units in mortar with a 3/8" full shoved head and bed joints.

GLASS UNIT MASONRY: Provide & install glass block units as indicated on plan. Glass block to be installed as per manufacturer's installation instructions, Chapter 7 of TMS 402/ACI 530/ASCE 5 and as dictated in Section 2110 in the NJ Edition of the IBC. Mortar for glass masonry shall be Type 'S' or 'N'.

FACE BRICK: Provide solid veneer thin brick conforming to ASTM C1088 or for thin facing brick conforming to ASTM C 216.

STONE OR BRICK VENEER: Where brick or stone veneer is specified on drawings install as per 2104 in the IBC. Reinforcing ties, copings, loose lintels anchors & flashing shall be included & installed as per TMS 602/ACI530.1/ASCE 6.

MASONRY VENEER TIES: Masonry veneer ties shall be corrosion-resistant metal 1 ties embedded in mortar or grout. Embed wall ties ends at least 2" into the outer face shell of hollow units. Embed wire wall ties at least 1 " into the mortar bed of solid masonry units or solid grouted hollow units with not less than 5" mortar or group cover. Veneer ties shall conform to 8 TMS602 / ACI530.1/ASCE 6

BUILDING BRICK: All building brick shall conform to ASTM C62.

STORAGE: All masonry materials shall be stored in a neat manner, in a dry area free of foreign material and protected from moisture.

METALS

METAL FASTENINGS: Anchor bolts 1/2" diameter x 18" long @ 6'-0" O.C. and 12" from each corner and/or splice in plate. A minimum of two bolts per plate section with one bolt located not more than 12" or less 4" from each end of the plate section. Plate washers are to be installed between the foundation sill & the nut on all anchor bolts. Plate washer are to be 3"X3"X.229". All anchor bolts to conform to ASTM A307 unless otherwise noted. Base plates, anchor bolts, support angles, etc. below grade shall be covered with a minimum of 3" of concrete.

STEEL COLUMNS: All steel columns shall be of standard heavy weight steel pipe column schedule 40, conforming to ASTM A500 (Fy=46) unless otherwise noted on the drawings. All column base plates and bearing plates to be 5"x5"x3/16" thick A-36 steel unless otherwise noted on the drawings.

STEEL CONNECTIONS: All shop connections are to be welded, riveted or high strength bolted. Field connections shall be high strength bolted. Connection bolts are to meet or exceed the requirements of ASTM A325. Bolts shall be designed as bearing type except if noted otherwise on plan. Minimum weld size to be 3/16" unless otherwise noted.

STRUCTURAL STEEL: All structural steel fabrication, design & erection shall be in accordance with ASTM A325, AISC 360 and Chapter 22 in the NJ Edition of the IBC.

STEEL SHALL CONFORM TO THE FOLLOWING:

ALL WIDE FLANGE BEAMS	ASTM A992 (Fy=50)
ALL CHANNELS, ANGLES, PLATES, ETC.	ASTM A36, A572 or A992
STRUCTURAL TUBE	ASTM A500 (Fy=46) or A501
STEEL PIPE	ASTM A53 (Fy=35)
ANCHOR BOLTS	ASTM A307
BOLTS	ASTM A325
WELDING ELECTRODES	AWS A5.1 OR A5.5 CLASS
GALVANIZED STRUCTURAL SHAPES & RODS	E70XX
GALVANIZED BOLTS, FASTENERS &	ASTM A123
HARDWARE	ASTM A153

FABRICATION: The fabricator is responsible for the design of all connections. Shop drawings are to be signed and sealed by the fabricator's licensed Engineer & submit to Architect/Engineer and/or Structural Engineer for review and coordination. Review of shop drawings does not relieve the fabricator of responsibility for the adequacy of all connections.

PAINT: All steel shall be painted with shop standard primer unless otherwise noted. Steel angles & plates along with bolts and washers, in direct contact with exterior finish masonry & all exterior exposed structural steel, shall be painted with inorganic zinc primer equivalent to Southern Coatings Chemtec 600. All dissimilar metals shall be treated or properly separated to prevent galvanic and/or corrosive effects. Delete paint on all steel to receive sprayed-on fireproofing or concrete encasement.

STEEL LINTELS: Steel Lintels & Angles exposed to exterior conditions shall be hot dipped galvanized. Lintel sizes are to be as designated on construction drawings.

STEEL JOISTS: Open web steel joists & girders shall comply with Section 2206 in the NJ Edition of the IBC.

COLD FORMED METAL FRAMING: Provide cold form steel framing & fastening to comply with AISI S211, AISI S212, AISI S100, AISI S214, AISI S213 & Sections 2210 of the NJ Edition of the IBC. All studs, joists, bracing, etc. shall be the gauge & size as indicated on the construction drawings. Install as per manufacturer's specifications.

HANDRAILS: All handrails shall comply with Section 1012 of the NJ Edition of the IBC.

GUARDS: All guards shall comply with Section 1013 of the NJ Edition of the IBC.

WOODS AND PLASTICS:

ROUGH CARPENTRY: For lumber, provide S4S, S - Dry, grade marked & complying with DOC PS 20 Structural lumber shall be Douglas Fir #2 and conform to standards set forth by the American Forest and Paper Association (AFPA). All lumber in contact with masonry, exposed to the weather, as indicated in Chapter 23 in the IBC, or as indicated on drawing shall be pressure treated to comply with AWPA U1. Sizes of lumber are indicated on drawings. All framing lumber shall be installed true, level plumb, square, well spiked & nailed properly braced and well secured in position. Contractor shall be responsible for replacing any split, damaged or cracked framing members as required.
All lumber is to be properly stored and protected against the weather & termite infestation. Store all lumber off the ground and cover when not in use. All framing lumber shall conform to Chapter 23 in the NJ Edition of the IBC. All fire retardant treated wood shall have a flame spead index of 25 or less & shall conform to ASTME E84 or UL723 & Section 2303.2 in the IBC.

PLYWOOD: Provide plywood with American Plywood Association grade stamp on each sheet indicating the span rating, exposure durability classification, thickness, and grade designation Plywood shall comply with the requirements of Doc PS-1 or Doc PS-2. The following min. thickness & grade designations shall be provided for the applicable locations. Where the drawings may indicate a different thickness, the larger thickness shall be installed.

Wall Sheathing	1/2" APA rated sheathing (32/16) Exposure 1
Roof Sheathing	5/8" APA rated sheathing (40/20) Exposure 1
Floor Sheathing	3/4"" APA rated sheathing (40/20) Exposure 1

LUMBER DECKING: All lumber decking shall be installed in accordance to & comply to Section 2304.8 in the NJ Edition of the IBC.

ENGINEERED LUMBER: All premanufactured wood members/ engineered lumber as specified on drawings shall be manufactured by iLevel (Trus Joist) & are to be installed as per manufacturer specifications and details. All engineered lumber is to manufactured by iLevel. Any substitutions become the liability of the contractor. Any revisions to framing must be approved by the Architect/Engineer prior to the substitution & prior to purchasing any building material. Architect/Engineer will assume no responsibility or liability for shop drawings provided by lumber supplier or contractor. Contractor must submit shop drawings and/or manufacturer framing layouts for approval by Architect/Engineer prior to any purchase of material and/or actual framing in the field. Any shop drawings submitted for approval after framing has begun will result in a change order and immediate field inspection by Architect/Engineer to verify all framing sizes. This cost will be the liability of the contractor and/or owner. Any construction costs occurred for inadequate framing will become the liability of the contractor. All PSL, LVL & Glu-Lam beams are to be solid blocked at ends to prevent rotation. If beams are parallel to floor joist, install solid blocking perpendicular to beam at 36" oc. within adjacent bays typical.

Design stresses for PSL beams	Fb=2,900 psi	E=2,000,000 psi	Fv=290 psi
Design stresses for LVL beams	Fb=2,600 psi	E=1,900,000 psi	Fv=285 psi
Design stresses for LSL beams	Fb=1,700 psi	E=1,300,000 psi	Fv=400 psi
Design stresses for Glu-Lam beams	Fb=3,000 psi	E=2,100,000 psi	Fv=300 psi
Design stresses for PSL Columns	Fb=2,400 psi	E=1,800,000 psi	Fc=2500 psi
Design stresses for Glu-Lam Columns	Fb=2,300 psi	E=1,900,000 psi	Fc=2300 psi

LUMBER DECKING: All wood I-joists shall be manufactured by i level and shall conform with structural capacity & design provisions of ASTM D5055. Install as per manufacturer's instructions.

STRUCTURAL GLUED LAMINATED TIIMBERS: Glued laminated timbers shall be manufactured and identified as required in ANSI/AITC A 190.1 & ASTM D 3737.

WOOD TRUSSES: All wood trusses shall be designed & guaranteed by the manufacturer of same. All design calculations shall be in accordance with Section 2303.4 of the NJ Edition of the IBC and sealed by a N.J. Licensed Engineer employed by the manufacturer & submitted to the Building Department, Owner and Architect/Engineer for shop drawing review.

WOOD CONNECTORS: All clips, hangers, strapping, post bases and caps & all wood connectors are to be manufactured by Simpson Strong Tie Company. All connectors are to be installed as per manufacturer's specifications. All connectors are to be used with manufacturer's approved fasteners. All connectors exposed to the elements or exterior are to be hot dipped zinc-galvanized with hot dipped zinc-galvanized fasteners complying with Section 2304.9 in the IBC. Any connectors exposed to salt water spray or within a half mile of salt water the fastener connectors are to be stainless steel to provide durability against corrosion.

HURRICANE CLIPS: Install Simpson Hurricane clips, model #H2.5 on each rafter typical for top plate application or model #H-3 for a plate over ceiilng joist application. Install as per manufacturer's specifications. Use manufacturer approved fasteners.

WOOD APPLICATIONS:

All headers shall be a minimum of (2)2"x10" unless noted otherwise. See header schedule. All joists & beams shall bear on a minimum of 3 1/2" solid base. Contractor shall provide double joists under partitions parallel to floor framing unless otherwise noted. Provide joists 6" apart under plumbing or utility walls (typical) to allow for piping. In bearing walls, headers shall rest on double stud, each side. Provide wood "blocking" in exterior walls where plywood seams occur. Provide a sill sealer and termite shield on top of foundation walls below treated wood sills. Provide solid or "x" type bridging @ 8'-0" on center maximum. Flitch plate beams shall be assembled with 5/8" diameter carriage type bolts spaced at 16" O.C., staggered. Provide double bolts at ends, unless noted otherwise. Notching of studs shall not be cut more than 25% of their width. Drilling of studs shall not be more than 60% of the stud width and the edge of the hole is no more than 5" to the edge of the stud. Double studs where in exterior walls or bearing partitions drilled over 40% and up to 60%. no more than two successive studs are to be doubled or bored. Bored holes shall not be located in the same cross section of cut or notch in stud. When top plate is notched more than 50% provide 16 gauge and 1.5 inch wide metal tie fastened across & to the plate at each side of the notch with 3-8d nails each side.

FIRE BLOCKING: Install fire blocking at all concealed draft openings to form an effective fire barrier horizontally & vertically, between stories and between top story & roof space as per the requirements of Section 717 in IBC.

THERMAL AND MOISTURE PROTECTION:

CEMENTITOUS DAMPPROOFING: On all exterior above & below grade concrete unit masonry surfaces provide and install a two coat cementitious plaster finish prior to dampproof installation. Finish surface shall be a trowel finish, total thickness of 3/8". Install cove at intersection of foundation walls and footings.

BITUMINOUS DAMPPROOFING: Damp proofing shall consist of a bituminous material, 3 pounds per square yard of acrylic modified cement, 1/8" inch coat of surface-bonding mortar complying with ASTM C887 or any of the materials permitted for waterproofing by Section 1805.3.2 in the NJ Edition of the IBC.

WATERPROOFING: Where groundwater investigation indicates that a hydrostatic pressure condition exists, walls and floors shall be waterproofed with a membrane of rubberized asphalt, butyl rubber or not less than six-mil. polyvinyl chloride with joints lapped not less than 6 inches complying with Section 1805.3 in the IBC. Joints in the membrane shall be lapped and and sealed in accordance with the manufacturer's installation instructions.

WATERPROOFING: Provide 6 mil polyethylene film, class 1 and lapped a minimum of 6". Joints in membrane shall be lapped & sealed as per manufactures installation instructions. Vapor retarder must conform to Section 1805 of the IBC.

SILL SEALER: Provide at all exterior walls between the masonry foundation & the wood sill plate a minimum 6" wide polyethylene sill sealer insulation. Sill sealer to be manuf. by Owens Corning or equal and install as per manufacturer's specifications.

PERIMETER & UNDER SLAB INSULATION: Provide extruded polystyrene insulation the thickness as indicated on drawings. Rigid insulation shall be a minimum of R=5 per 1" of material. Rigid Insulation shall conform to ASTM C578. Install as per manuf. instructions.

MINERAL FIBER INSULATION: Provide mineral fiber sound attenuation fire blankets as indicated on construction drawings, conforming to ASTM C665, Type 1. The "SAFB" density shall be 2.5 pcf: R value of 3.7 per 1" of thickness & K=.27. Flame spread & smoke development shall conform to ASTM E84 & Section 719 in IBC.

BATT INSULATION: Provide glass fiber thermal insulation for exterior walls as indicated as indicated on construction drawings. Insulation shall conform to ASTM C665, Type III, (reflective aluminum foil facing), class 'A' for all exterior walls, ceilings & attics. Use Type 1 unfaced) for interior applications. Flame spread index not to exceed 25 with a smoke developed index not to exceed 450 complying with ASTM E 84 & Section 719 of the IBC. Install vapor barrier to face of heated side.

CONCRETE BLOCK INSULATION: Provide in concrete masonry unit cavities where indicated on drawings, expanded polystyrene insert insulation with a minimum R value of 4.17 per inch maufactured by Korfil or equal. Insulation shall conform to ASTM C 578, type 1 & ASTM C90. Install as per maufacturer's instructions.

SELF ADHERED FLASHING: Provide 25 mil. self adhered flashing membrane around all window & door openings. Install as per manufacturer's installation instructions.

AIR INFILTRATION BARRIER: Provide a 5 mil. high density polyethylene fiber air infiltration barrier "Tyvek" as manufactured by Dupont or equal on all exterior walls. All laps shall be not less than 6" and material shall be continuous to the top of wall & terminated at at penetration & building appendages to comply with the requirements of Chapter 14 in the NJ Edition of the IBC.

ICE & WATER SHIELD: Provide 40 mil. self adhered ice & water shield 2'-0 inside the exterior wall line of the building and 3'-0" from valleys & ridges. Install as per manufactures installation instructions. Ice & water shield shall conform to ASTM D3767, D461, D412, E96 & ASTM E108/UL790 for fire classification.

BUILT UP ROOFING: Provide built-up roofing system that complies with Section 1507 and Table 1507.10.2. in IBC. Install as per manufacturer's installation instructions. Minimum roof covering fire classification shall comply with the requirements of table 1505.1 & Section 1505 in the IBC based on the type of construction of the building.

ASPHALT FIBERGLASS SHINGLES: Provide minimum 235 lb. U.S. Class A, 120 mph wind-resistant asphalt fiberglass shingles conforming to ASTM D225 or D3462 &Chapter 15 of the NJ Edition of the IRC. Color, texture, & pattern as selected by owner unless otherwise indicated on drawings. Install as per manufacturer's installation instructions. All roof finish material to be installed as per manufacturer's specifications to conform to Section 1507. Contractor to provide not less than four fasteners per strip shingle or two fasteners per individual shingle. Wind resistance for all asphalt shingles shall be tested in accordance with ASTM 7158 and shall conform with Section 1507 &Table 1507.2.7.1(1) in the IBC. Roof shingles shall be class G or H per ASTM 7158. Minimum roof covering fire classification shall comply with the requirements of table 1505.1 & Section 1505 in the IBC based on the type of construction of the building.

METAL ROOFING: Provide non-insulated, concealed fastener, standing seam metal roofing assemblies manufactred by Atas or equal that comply with ASTM B209, UL790/ASTM E108, UL 580, ASTM E283, ASTM E 331, Field tested UL 2218 &ASTM E84 as well as requirements of Table 1507.4.3(1) & Table 1507.4.3.(2) in the IBC. Panels shall be .040 Aluminum with smooth Kynar finish. Metal roof panels shall conform with ASTM E1592/UL 580 for class 90 wind uplift resistance as required by code. Provide underlayment for metal roof as per manufacturer's specifications. A minimum of 30# building felt will be required. Minimum roof covering fire classification shall comply with the requirements of table 1505.1 & Section 1505 in the IBC based on the type of construction of the building.

MODIFIED BITUMEN ROOFING: Provide modified bitumen roofing system that complies with Section 1507 in the IBC &CGSB 37-GP56M, ASTM D 6162, ASTM D 6163, ASTM D6164, ASTM D6222, ASTM D 6223, ASTM D6298 or ASTM D6509 . Install as per manufacturer's installation instructions. Minimum roof covering fire classification shall comply with the requirements of table 1505.1 & Section 1505 in the IBC based on the type of construction of the building.

FLASHING & SHEET METAL: Provide aluminum sheet, .032", thick C22A41 clear anodized finish for concealed & exposed flashing locations. Provide metal flashing over all windows & doors in exterior walls throughout as well as all wall & roof intersections, gutters & whenever there is a cahing in roof slope or direction. Provide pan flashing under all exterior doors. Flashing to be installed in all areas where concrete is in contact with wood framing. All wall, base, cap, thru- wall, and/or counter-flashing etc. as required to prevent the entrance of moisture & water and shall be a minimum of 8". Open valley flashings shall be a minimum of 24" & shall conform to Table 1507.2.9.2 in the NJ Edition of the IBC. Sidewall flashing shall be by the step flashing method. The flashing shall be a minimum of 4" high & 4" wide. At termination the flashing shall be turned out in a manner to direct water away from the wall & onto the roof. Parapet coping shall be provided at all parapet walls and shall be noncombustable with a minimum of the wall parapet wall thickness. Provide a drip edge at all eaves and gables of shingle roofs. Overlap to be a minimum 1 of 2". Eave drip edges shall extend " below sheathing & extend back on the roof a 4 minimum of 2". Mechanically fasten drip edges a maximum of 12" on center.

ROOF DRAINAGE: Where expansive soils exist, a controlled method of water removal & drainage must be provided that will collect & discharge all water to the ground surface at least 5 ft. away from the foundation walls or to an approved drainage system as required by the governing codes, plumbing subcode, local authorities and/or the township. Roof drainage shall comply with Section 1503 & the Plumbing Sub-code NJAC 5:23-3:15. Where roof drains are required over flow drains having the same size of the roof drain shall be installed with the inlet flow line 2" above the low point of the roof. Installation & sizing shall conform to with the Plumbing subcode (NJAC 5:23-3:15)

GUTTERS & DOWNSPOUTS: Provide aluminum gutters & leaders as required for proper roof drainage. Gutters shall be .032" min. thickness & style shall be as selected by owner. Downspouts shall be .023" thick 3"x4" rectangular corrugated style. Provide splash blocks at all leaders. Color as selected by owner. Comply with Section 1503

SCUPPERS: Scuppers shall not be less than 4" wide and shall be a minimum of 26 ga. galvanized steel. Contractors shall comply with the requirements of Section 1503 in the IBC & the Plumbing subcode (NJAC 5:23-3:15)

ATTIC VENTILATION: As required by Section 1203 of the IBC, one sf. of ventilation shall be provided per 300 sf of attic, provided that 50% of the required ventilation is at least 3 feet above the eave and the balance is of the required provided by the eave or cornice vents.

LOUVERS & VENTS: Provide pre-manufactured gable vents with insect screens as indicated on drawings. Color to be as selected by owner. Provide continuous perforated vinyl soffit vents with a thickness not less than .035 inches complying with ASTM D3679 & all accessories necessary for installation manufactured by Certain Teed or Equal. Minimum net free area shall not be less than 5.9 sq in per lineal foot. Provide continuous ridge vents with internal baffle & filter in locations indicated on drawings. Ridge vents to be a Cobra Ridge vent manufactured by GAF or equal. Install as per manufacturer's installation instructions. Net Free area shall not be less than 18 sq. inch per lineal foot of vent.

POWER VENTILATION: Provide electrical powered thermostatic controlled attic exhaust fan to provide 1500 cfm at 0.3 static pressure. Install as per manufacturer's specifications.

CRAWL SPACE VENTILATION: Based on IBC Section 1203.3 1 sq. ft. of ventilation shall be provided per 1500 sq. ft. of crawl space area when a class 1 vapor retarder is used and cross ventilation of the space is provided.

SEALANTS & CAULKING: Elastometric sealant shall be 1 component polysulfide or 1 component polyurethane sealant conforming to FS TT-S-00230 Class A. Provide closed cell backer rod. Each color & class of sealant shall be of a single manufacturer. All caulking and sealant work shall conform to the aforementioned codes & standards. Caulk all joints :wood to masonry, wood to metal, wood to wood, wood to glass, etc. Exterior caulking to be Acrylic type & interior to be butyl rubber manufactured by Tremco or equal install as per manufacturer's specifications.

DOORS AND WINDOWS:

WOOD DOORS: Where indicated on drawings, provide doors pre-hung wood doors as selected by the owner with the required U.L. Fire Resistance Rating as dictated by the IBC.

EXTERIOR METAL CLAD DOORS: Exterior metal clad doors shall be 1 3/4" thick pre-hung doors manufactured by Therma-tru or equal. Sizes are to be as shown on drawings.

STEEL DOORS: Provide steel doors & frames complying with SDI-100. Steel shall be cold rolled as per ASTM A336 or A568. Galvanized for exterior use. Frames shall be 16 gauge, doors shall be a minimum of 18 gauge. Provide door & frame where indicated on drawings with the appropriate UL rating, shop primed, prepared for hardware & complete with guards, anchors and accessories.

GLAZING: All glazing to be in accordance with IBC Section 715 & Chapter 24 in its entirety.

SAFETY GLAZING: All safety glass shall comply with Section 2406 in the IBC. All panes shall be identified by a manufacturer's designation specifying who applied the designation, the manufacturer or installer and the safety glazing standard with which it complies. Contractor is responsible to reference this section for all requirements. All glazing in swinging, sliding or bi-fold doors shall be safey glazing. Any glass panel where the nearest exposed edge is within a 24" arc of the veritical edge of a door in a closed postion and where the bottom edge is less than 60" above walking surface. Temper glass if an individual pane is larger than 9 square feet, the bottom edge of the glass is less than 18" above the floor, exposed top edge is greater than 36" above the floor or one or more walking surface is within 36 inches horizontally of the pane of the glazing. Provide safety glass adjacent to stairways, landings or ramps within 36 inches horizontally of a walking surface or 60" from any stair walking surface. All all shower & tub enclosures and windows above the tub less than 60" from standing surface.

IMPACT GLAZING: Impact glazing shall be tested in accordance with CPSC 16 CFR 1201 or ANSI Z97.1 and shall comply with criteria in Tables 2406.2(1) or 2406.2(2) in the IBC.

WINDOWS: Provide windows of types, sizes, and manufacturer as indicated on construction drawings. Windows shall be double pane high performance, clear insulated glass. Sleeping room windows specified shall comply with IBC Section 1029 for escape openings.

MIRROR GLAZING: Provide mirrors to the dimensions indicated on the drawings. Mirrors shall be 1/4" thick, quality Q2, Type 1, class I conforming to FS DD-G-451 with full silver coating, copper coating and protective organic coating and polished edges.

EXTERIOR FINISHES:

EXTERIOR COVERINGS: Exterior walls shall provide a weather-resistant exterior wall envelope that complies with Section 1403. Wall coverings shall be capable of withstanding wind loads in accordance with Section 1609. Wind pressure resistance of siding & backing materials shall be determined by ASTM E331. Contractor to conform with Table 1405.2 in the NJ Edition of the IBC for the required finish thicknesses.

STUCCO: Stucco system shall be as selected by owner. Contractor shall be responsible for providing details for proper installation & drainage. System shall be installed in strict accordance with manufacturer's specifications, details & approved drainage relief system. System to be installed by a certified applicator with a minimum of 7 years experience. Applicator is to use all the appropriate & manufacturer approved sealants at all terminations. Contractor to comply with Chapter 14 & Section 2512 in the IBC.

FIBER CEMENT SIDING: Fiber cement siding shall be manufactured by James Hardi or as specified on drawing & shall comply with ASTM C1186, Type A, grade II & Section 1404 in the NJ Edition of the IBC. Lap siding shall be a minimum width of 12" & shall be lapped a minimum of 1". Color shall be as indicated on drawings or as selected by owner. Contractor shall install as per manufacturer's installation instructions & Section 1405 in the IBC.

VINYL SIDING: Vinyl siding shall be certified & labeled as conforming to the requirement of ASTM D3679. Install siding in accordance with the manufacturer's installation instructions& Section 1405 in IBC. Vinyl siding shall be a minimum thickness of .035 inches. Siding shall be manufactured by Certain Teed or Equal. Color as indicated on drawings or as selected by owner.

WOOD SHAKES & SHINGLES Wood shakes & shingles shake conform to CSSB grading Rules for Wood Shakes and Shingles & Chapters 14 & 23 in the NJ Edition of the IBC. Thickness of Shakes & Siding shall comply with Table 1405.2 in the IBC. Color and finish as selected by owner.

EXTERIOR INSULATION & FINISH SYSTEM: EIFS System shall comply with Section 1408 in the NJ Edition of the IBC. Contractor shall provide a water resistive barrier between the sheathing and EIFS complying with ASTM E2570 & Section 1408 in the IBC. Flashing for EIFS shall comply with manufacturer's specifications. Contractor shall be responsible for providing details for proper installation & drainage. System shall be installed in strict accordance with manufacturer's specifications, details & approved drainage relief system complying with ASTM E 2273 & ASTM E2568 with 90% drainage efficiency. . System to be installed by a certified applicator with a minimum of 7 years experience. Applicator is to use all the appropriate & manufacturer approved sealant at all terminations.

SOLID CELLULAR PVC TRIM: Exterior PVC solid cellular trim to be manufactured by Azek or equal unless noted on drawings. Fasten and install as per manufacturer's installation instructions. Fasteners for exterior applications shall be hot dipped galvanized or stainless 1 steel and shall penetrate the the solid wood substrate a minimum of 1 ". Provide 2 4 fasteners per every framing member, not to exceed 8" on center for trim boards 12" or wider. All fasteners shall be installed within 2" of the end of each board and there must be 3 1 2 fasteners on each side of a board joint. Sheet products " and " thick are not intended 8 2 to be ripped into trim pieces. These profiles must be glued to a substrate and mechanically fastened. All fastener holes are to be plugged. Azek to Azek joints are to be glued and secured with fasteners as per manufacturer's instructions. Installers are to use the appropriate & manufacturer approved adhesive at all terminations and where required. Paint all Azek trim applications unless otherwise directed by Owner or Architect/Engineer.

INTERIOR FINISHES:

Interior finishes shall comply with the requirements of Chapter 8 in the IBC. All interior finishes shall be classified in accordance with ASTM E84 or UL723. Interior finish requirements are based on use group & shall be classified as per Table 803.9 in the IBC. Contractor shall be responsible to complying with the minimum finish requirements in Table 803.9 for all interior finishes on walls and ceilings.

GYPSUM BOARD: Provide 1/2" thick standard taper gypsum board complying with ASTM C36 & Chapter 25 in the IBC unless otherwise noted. Nail or screw attach drywall as per Table 2508.1 & Section 2508 in the IBC. Adhesives for Gypsum board shall conform to ASTM C557. Provide manufacturer standard metal trim accessories of the bead type that shall conform to Table 2508.1. Provide ready mixed vinyl joint compound and perforated joint tape conforming to ASTM C4; C475. Install compound in three coats. On completion, all walls & ceilings shall be smooth, true & without noticeable irregularities. Provide water-resistant gypsum board conforming to ASTM C1288, C1325 or C1178 & IBC Sections 2509, 1210.2 & 1210.3 in toilet rooms and wet areas. Install as per manufacturer's instructions. Provide 1 layer of 5/8" fire code type gypsum on each side of walls & 2 layers of 5/8" fire code on ceiling of garage adjacent to living space.

PAINT: Provide one coat of latex primer & two coats of latex semi-gloss on all interior walls & ceilings. Color as selected by owner. Exterior paint shall be one coat of latex primer & two coats of acrylic latex exterior paint. Install as per manufacturer's specifications. Color as selected by owner. Stained trim to have one coat of transparent stain & two coats of polyurethane satin finish. Contractor shall touch sanded between coats. Color as selected by owner Undercoats and systems shall be of the same manufacturer as the final coat.

CERAMIC TILE: Ceramic tile requirements shall conform to ANSI A137.1 & Section 2103.5 in the IBC. Mortar for Ceramic tile shall conform to ANSI A108.1A & ANSI A108.1B & conform to the composition listed in Section 2103.10 in the IBC.

CARPET: All carpeting & pads shall be as indicated on drawings or as selected by owner. Carpeting shall conform to Section 804 in the IBC & the class shall be in accordance with NFPA 253.

RESILIENT FLOORING: All vinyl composition tile shall be the size as indicated on drawings or as selected by owner. Resilient flooring shall conform to Section 804 in the IBC & the class shall be in accordance with NFPA 253. Provide minimum 1/8" thick tile complying with FS-SS-T-312, Type IV. Contractor to verify existing slab calcium content for compatibility of tile adhesive to existing slab. confirm with manufacturer's recommended installation specifications. contractor to notify Architect/Engineer of any inconsistencies. Vinyl wall base shall be 4" high complying with FS SS-W-40, Type II. Provide stabilized type waterproof adhesives recommended by flooring manufacturer.

ACOUSTICAL CEILING: Provide 3/4" thick mineral fiber acoustical panels manufactured by Armstrong or USG. NRC minimum of .50: CAC minimum of 35 & minimum light reflectance of .75, Class 'A' material. Ceiling suspension system shall be intermediate duty, fully exposed, lay-in type complying with ASTM C635 &C636. Ceiling tile product & size are to be as specified on drawings or as selected by owner.

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REVISION TABLE

NUMBER	DATE	REVISED BY	DESCRIPTION

NOTES:

PROJECT DESCRIPTION:

SEMI-NEW CONSTRUCTION

SINGLE FAMILY RESIDENCE

LOCATED AT:

1902 STRATFORD AVENUE

NEPTUNE TOWNSHIP, NJ

DATE:	02-17-2022
DRAWN BY:	DAK
SCALE:	AS NOTED
JOB #:	479
SHEET:	2 OF 9

A102

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- RESIDENTIAL DESIGN
- COMMERCIAL DESIGN
- INDUSTRIAL DESIGN
- RELIGIOUS / INSTITUTIONAL DESIGN
- HEALTH CARE DESIGN
- STRUCTURAL DESIGN
- INTERIOR DESIGN

GENERAL NOTES: (Cont.)

SPECIALTIES:

FIREPLACES: All fireplaces are to comply with the requirements of Section 2111, 2112, & 2113 of the IBC. Prefabricated fireplaces are to be selected by owner & installed in accordance with manufacturer's specifications & all current and applicable codes. All materials to be used in conjunction with fireplace shall conform with manufacturer's requirements.

TOILET ACCESSORIES: Provide toilet accessories in locations indicated on the construction drawings. Accessories shall be manufactured by Bobrick or equal. All finishes shall be a brushed stainless steel, as indicated on drawings or as selected by owner.

TOILET PARTITIONS: Provide toilet partitions in the locations indicated on the construction drawings & manufactured by Bobrick or equal. All finishes shall be as indicated on fixture schedule or it shall be selected by owner. Partitions shall be a floor mounted solid Phenolic system with stainless steel hardware and shall conform to ASTM E84.

LOUVERS: Provide extruded aluminum louver of the size as dictated by mechanical drawings prepared by a licensed Mechanical Engineer or as required by mechanical contractor for fresh air intake. Louvers are to be electrically operated and shall have an aluminum mesh insect screen.

CABINETRY:

KITCHEN & BATH CABINETS: Where indicated on drawings, the contractor shall provide wood cabinets and/or vanities as selected by owner. Architectural drawings show preliminary layout only, final & exact layout for kitchen & bath are to be provided by contractor's manufacturer as per the direction of & approved by the owner. Cabinet style, finish & hardware as well as counter tops are to be selected by owner unless otherwise noted on the drawings or fixture schedule.

MECHANICAL:

These Construction Documents do not include the design of plumbing, air conditioning, or heating systems. The Architect/Engineer assumes no responsibility or liability for their design. The HVAC Sub-Contractor shall design the heating and cooling system and the Plumbing Sub-contractor shall design the plumbing system to submitt for permit.

PLUMBING SYSTEM: Provide & install all required piping for the sanitary drainage, cold & hot water supply & natural gas supply. Plumbing Sub-Contractor shall obtain all required permits, inspections & approvals. Coordinate all work with the General Contractor & the applicable utility companies. The entire installation shall comply with the 2018 National Standard Plumbing Code, IBC, State Codes & Local ordinances as well as the local utility company requirements.

HOT & COLD WATER PIPING: Above ground piping shall be Type "L" copper or PEX tubing to be selected by owner. Underground water supply line shall be type "K" copper or schedule 40 PVC & shall be installed a minimum of 48" below finished grade. Piping shall conform to Section 3.4 in the 2015National Standard Plumbing Code. Insulate all hot & cold water supply lines located within the structure.

PLUMBING FIXTURES: All plumbing fixtures to be as selected by owner unless otherwise noted on plans or fixture schedule. Minimum fixture clearances shall be as shown in figure 7.3.2 in the National Standard Plubming code Contractor to ensure that 21" minimum clearance in front of all toilets, sinks, and tubs shall be provided and 24" in front of all shower openings. Handicapped accessibilty & clearances requirement shall be provided for plumbing fixtures as require by the Barrier free Subcode Chapter 11 NJAC 5:23-6 & the ICC ANSI A117.1-2009.

SOIL & WASTE PIPING SYSTEM: All waste piping under concrete shall be schedule 40 PVC or Schedule 40 ABS. All above ground waste & vent piping shall be schedule 40 PVC with DMV type fittings. Piping shall conform to Section 3.5 in the National Standard Plumbing Code.

EXISTING SANITARY SEWER: The existing sanitary sewer line must be located & inspected to establish its usability before connecting the new portions of the sanitary sewer line. It must also be cleaned out as part of the usability testing. If the existing line is in good condition it may be used. If the condition is questionable, then it must be replaced.

NATURAL GAS PIPING: All above ground natural gas pipe shall be schedule 40 black steel in the sizes required as per the International Fuel Gas Code for the installation fo the heating unit, water heater & appliances. Piping shall conform to ASTM A53 & installation shall conform with the International Fuel Gas Code 2018 & all other applicable codes.

WATER HEATERS: Provide a 40 gallon water heater as located on the plans. Install as per manufacturer's specifications & in conformance will National Standard Plumbing Code, International Mechanical code, International Fuel Gas Code, National Electrical Code & all current & applicable codes.

HEATING VENTILATION & AIR CONDITIONING: Provide all labor, equipment materials to provide a complete heating & cooling system. Sizing for heating & cooling equipment shall be in accordance with International Mechanical Code 2015. Installation shall conform to the International Mechanical code, National Standard Plumbing Code, International Fuel Gas Code, National Electrical Code & all current & applicable codes.

APPLIANCE LOCATIONS: Provide appliance locations as shown on plans & in accordance with Section 303 & 306 in the International Mechanical Code. Appliances located in attics & under floors must have a minimum 22"X30" opening & large enough to remove the appliance. Appliance must be within 20' from the centerline of the passage way to the access panel & a 30"X30" level service space shall be present along all side of the appliance where access is required. Plywood sub-fl. must be installed in attics no less than 24" wide to service the appliance. Appliances located in garages shall be elevated so that the ignition source is 18" above the floor & shall be protected from vehicle damage.

EXHAUST FANS: Provide 75 cfm bathroom exhaust fan as shown on drawings. Provide duct & roof jack to vent fan through roof.

METAL DUCTWORK: All ductwork shall be galvanized sheet metal of sizes indicated on shop drawings. Ductwork shall be fabricated in accordance with the standards of SMACNA & Chapter 6 of the International Mechanical Code. All ductwork shall have a 1" duct liner. Sizes are to be measured as clear dimensions.

REGISTERS, GRILLES & DIFFUSERS: Provide extruded aluminum directional wall or ceiling tape with dampers as selected by owner. Color as selected by owner.

TESTING & BALANCING: Contractor shall balance system under actual load conditions making all tests necessary to demonstrate the integrity of the complete system.

ELECTRICAL:

These Construction Documents do not include design of any electrical systems. Electrical plans are for lighting & outlet locations only. The Architect/Engineer assumes no responsibility for their electrical engineering or design. The licensed Electrical Contractor shall design the electrical system either by using what is currently existing & upgrading to meet the minimum code standards or by providing a new system to meet the minimum code standards as required by the National Electric Code (NFPA 70) 2017.

MATERIALS & METHODS: Provide & install all required wiring for the exterior electrical service to the building. Obtain all required permits, approvals & inspections. Coordinate all work with the General Contractor and applicable utility companies. The entire installation shall comply with the requirements of the National Electrical Code (NFPA 70) 2017, State Codes, Local ordinances and the local electric utility company and/or telephone company.

ELECTRICAL SERVICE: Provide service entry equipment as required. Meter stack & main circuit breaker panel to be square 'D' (rainproof) or an approved equal. Electrical service to be as determined by licensed Electrician or Electrical Engineer. Provide 20% spare circuits in panel and mark panel to indicate use of each circuit.

BRANCH CIRCUITS: Arrange circuits as shown on electrical layout. Sizing wiring as required for circuit layout. Provide ground fault protection circuits or dedicated circuits as indicated on plan or as required by code. All wiring shall be copper & comply with NEC.

CONCRETE ENCASED ELECTRODES: Provide and install required bonding clamp as per Section 250.70 in the Electrical Subcode prior to concrete pour of footings. Obtain all required permits, inspections & approvals. General Contractor is to coordinate all work with the electrical sub-contractor.

SITE LIGHTING: Provide site lighting and walk lighting as indicated on drawings. All lighting and wiring to comply to NFPA 70 standards. & NEC 2017. Wire lights with direct burial cable and provide protective PVC sleeve under pavement or sidewalks.

TESTING: Provide testing as required by the NFPA to check the circulation resistance or the presence of the grounds & shorts in accordance with current & applicable codes. Repair & replace any defective wiring, shorts or grounds.

FIRE PROTECTION:

These Construction Documents do not include design of any fire protection systems. Fire Protection plans are to be provided by others. The Architect/Engineer assumes no responsibility for design of system. Fire protection systems shall comply with Chapter 9 of the 2018 International Building Code NJ Edition, International Fire Code, NFPA 10, NFPA 13, NFPA 72 & all other current and applicable codes.

FIRE ALARM & DETECTION SYSTEMS: Provide & install all fire alarm and detection systems as per the requirements of Section 907 the IBC, International Fire Code, NFPA 72 & all other applicable codes.

SMOKE DETECTOR SYSTEMS: Provide & install all smoke detectors with AC primary power source & shall receive power from a battery when the power source is interrupted. Smoke detectors shall comply with UL 217 & installed in accordance with Section 907 the NJ Edition of the IBC & NFPA 72. The electrical requirements shall be governed by the National Electrical Code 2017 Edition.

CARBON MONOXIDE ALARMS: Provide & install all carbon monoxide alarms in accordance with the IBC & NFPA 72. Carbon monoxide alarms to be manuf. & listed and labeled in accordance with UL 2034.

SPRINKLER SYSTEMS: Provide an automatic sprinkler system as required by Section 903 in the IBC. All sprinkler system shall be designed by a licensed Engineer in accordance to Section 903 in the IBC & NFPA 13. Design of sprinkler system is not included in these documents. Residential automatic sprinkler system shall be installed in accordance to NFPA 13D or NFPA 13R & in compliance with Section 903 in IBC.

TESTING: All automatic sprinkler systems shall be tested in accordance with NFPA 13 & Section 903.5 in the NJ Edition of the IBC.

MANUAL FIRE ALARM BOXES: Provide & install all fire alarm boxes where required & in accordance to Section 907 in the IBC. All boxes shall be red in color and shall be not more than 5 feet from the entrance to each exit. Additional boxes shall be located so that the travel distance does not exceed 200 feet to the nearest fire alarm box. Height of boxes shall be a minimum of 42" & a maximum of 48" above the floor to the activating lever.

FIRE EXTINGUISHERS: Provide & install all fire extinguishers in accordance to Section 906 in the IBC, International Fire Code & NFPA 10 Standard for Portable Fire Extinguishers 2018 Edition.

KNOX BOXES: Contractor to provide & install as required by the local fire marshal an approved knox box on the exterior of the building.

FASTENER SCHEDULE

DESCRIPTION OF BUILDING ELEMENTS	NUMBER & TYPE OF FASTENER	SPACING
FLOOR		
JOIST TO SILL OR GIRDER, TOE NAIL	4-8d COMMON	PER JOIST
1"x6" SUBFLR. OR LESS TO EACH JOIST, FACE NAIL	2-8d COMMON	
BAND JOIST TO JOIST, END NAILED	3-16d COMMON	PER JOIST
BLOCKING TO JOIST, TOE NAILED	2-8d COMMON	EACH END
2" SUBFLR. TO JOIST OR GIRDER, BLIND AND FACE NAIL	2-16d COMMON	16" O/C.
RIM JOIST TO TOP PLATE, TOE NAIL	2-16d COMMON	12" O/C.
LEDGER STRIP SUPPORTING JOISTS OR RAFTERS	3-16d COMMON	@ EACH JOIST OR RAFTER
BUILT-UP GIRDERS AND BEAMS, 2-INCH LUMBER LAYERS	10d COMMON	NAIL EA. LAYER AS FOLLOWS: 32" O/C. AT TOP & BTM. & STAGGERED. TWO NAILS AT ENDS & AT EACH SPLICE.
2" PLANKS (PLANK AND BEAM - FLOOR OR ROOF)	2-16d COMMON	AT EACH BEARING
BRIDGING TO JOIST (TOE-NAILED)	2-8d COMMON	EA. END
WALL		
TOP OR SOLE PLATE TO STUD, END NAIL	2-16d COMMON 3-16d COMMON 4-16d COMMON	PER 2x4 STUD PER 2x6 STUD PER 2x8 STUD
STUD TO SOLE PLATE, TOE NAIL	4-8d COMMON	
DOUBLE STUDS, FACE NAIL	2-16d COMMON	24" O/C.
DOUBLE TOP PLATES, FACE NAIL	2-16d COMMON	12" O/C.
SOLE PLATE TO JOIST/BLKG @ BRACED WALL PANELS	3-16d COMMON	16" O/C.
DOUBLE TOP PLATES, MINIMUM 48" OFFSET OF END JOINTS, FACE NAIL IN LAPPED AREA	8-16d COMMON	
SOLE PLATE TO JOIST OR BLOCKING, FACE NAIL	2-16d COMMON	16" O/C.
TOP PLATES, LAPS AT CORNERS AND INTERSECTIONS, FACE NAIL	4-16d COMMON	JOINTS EA. SIDE
BUILT-UP HEADER, TWO PIECES WITH %"%"239" SPACER	16d COMMON	16" O/C. ALONG EA. EDGE
CONTINUOUS HEADER, TWO PIECES	16d COMMON	16" O/C. ALONG EA. EDGE
CONTINUOUS HEADER TO STUD, TOE NAIL	4-8d COMMON	
1" BRACE TO EACH STUD AND PLATE, FACE NAIL	2-8d COMMON 2 STAPLES, 18"	
BUILT-UP CORNER STUDS	10d COMMON	24" O/C.
ROOFING		
CEILING JOISTS TO PLATE, TOE NAIL	4-8d COMMON	EA. JOISTS
CEILING JOIST, LAPS OVER PARTITIONS, FACE NAIL	3-16d COMMON	EA. LAP
CEILING JOIST TO PARALLEL RAFTER, FACE NAIL	3-16d COMMON	EA. LAP
RAFTER TO PLATE, TOE NAIL	4-8d COMMON	EA. RAFTER
RIM BOARD TO RAFTER, END NAIL	2-16d COMMON	AT EACH BEARING
BLOCKING BETWEEN JOISTS OR RAFTERS TO TOP PLATE, TOE NAIL	3-8d COMMON	AT EACH BEARING
ROOF RAFTERS TO RIDGE, VALLEY OR HIP RAFTERS: TOE NAIL FACE NAIL	4-16d COMMON 3-16d COMMON	
COLLAR TIE TO RAFTER, FACE NAIL OR 1 1/2"x20 GA. RIDGE STRAP	3-10d COMMON	

WOOD STRUCTURAL PANELS, SUBFLOOR, ROOF & INTERIOR WALL SHEATHING TO FRAMING, & PARTICLE BOARD WALL SHEATHING TO FRAMING

	DESCRIPTION OF FASTENER	SPACING OF FASTERNER	
ROOF SHEATHING		EDGES (IN.)	INTERMEDIATE (IN.)
5/16" - 1/2"		6"	6"
19/32" - 1"	8d COMMON	6"	6"
1 1/8" - 1 1/4"	8d COMMON OR 10d DEFORMED	6"	12"
SUBFLOOR			
1" OR LESS	8d COMMON OR 10d BOX	6"	12"
GREATER THAN 1"	10d COMMON OR 16d BOX	6"	6"
WALL SHEATHING			
STRUCTURAL PANELS	8d COMMON / 10d BOX	6"	12"
FIBERBOARD PANELS 1/2"	6d COMMON	3"	6"
FIBERBOARD PANELS 25/32"	8d COMMON	3"	6"
GYPSUM WALLBOARD	5d COOLERS	7"	10"
HARDBOARD	8d COMMON	6"	12"
PARTICLE BOARD PANELS	8d COMMON	(SEE MANUF.)	(SEE MANUF.)
CEILING SHEATHING			
GYPSUM WALLBOARD	5d COOLERS or 1 5/8" .086 SHANK, 15/64 HEAD, WALL BOARD NAIL	7"	10"

NOTE: NAILING SCHEDULE REFERENCES WFCM TABLE 3.1 & IBC TABLE 2304.9.1

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REVISION TABLE

NUMBER	DATE	REVISED BY	DESCRIPTION

NOTES:

PROJECT DESCRIPTION:

SEMI-NEW CONSTRUCTION

SINGLE FAMILY RESIDENCE

LOCATED AT:

1902 STRATFORD AVENUE

NEPTUNE TOWNSHIP. NJ

DATE: 02-17-2022

DRAWN BY: DAK

SCALE: AS NOTED

JOB #: 479

SHEET: 3 OF 9

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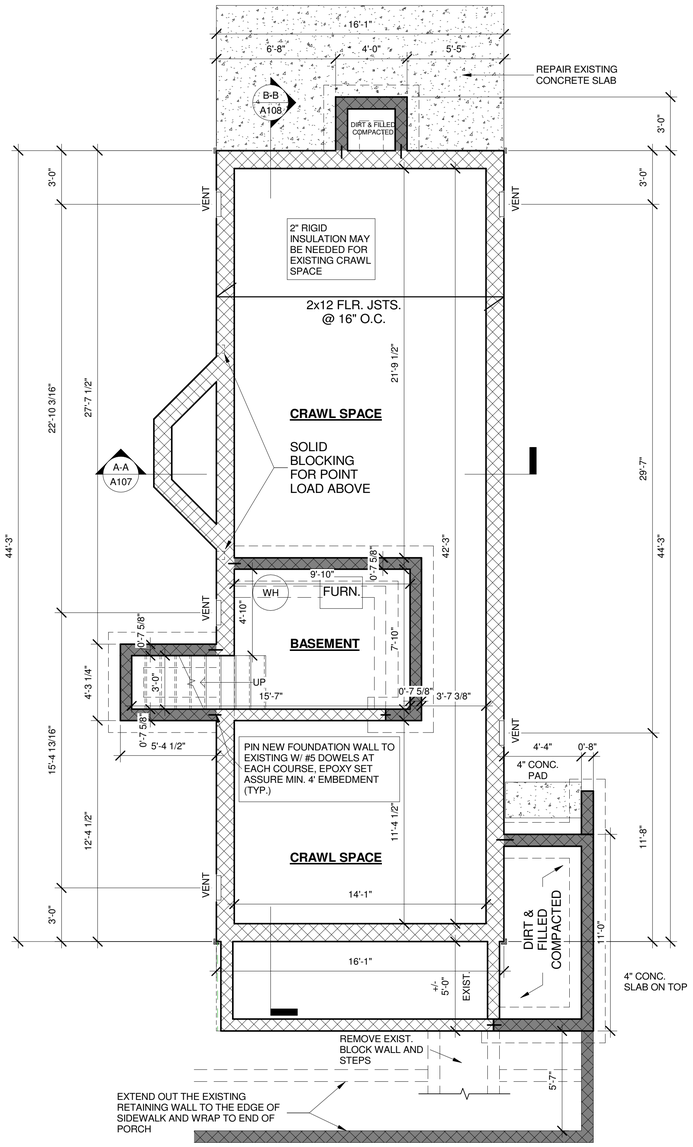
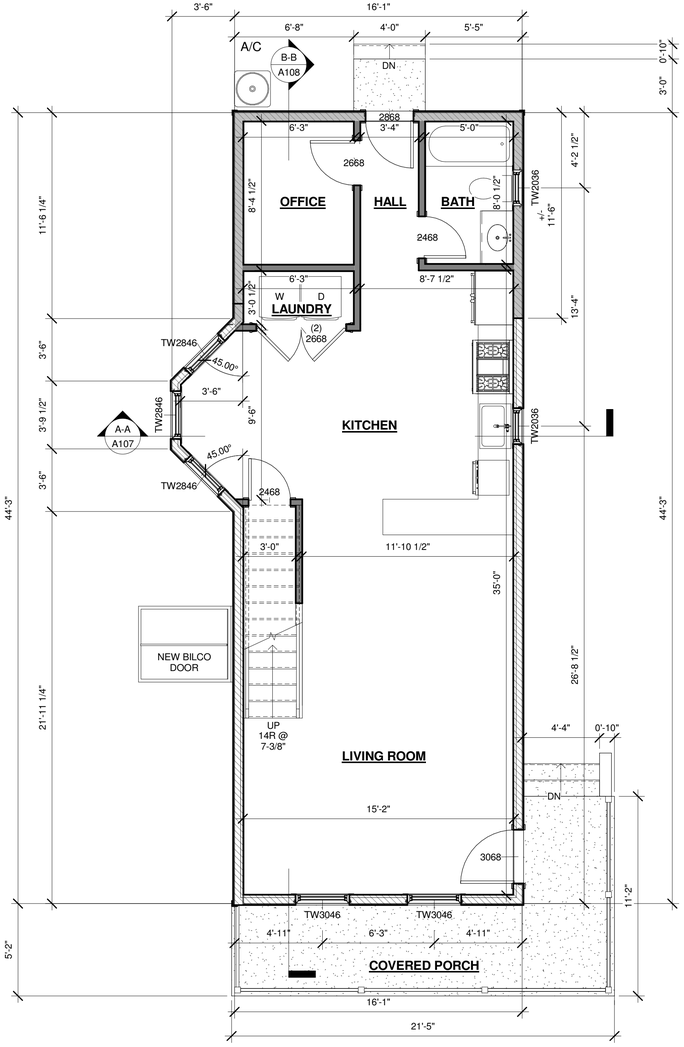
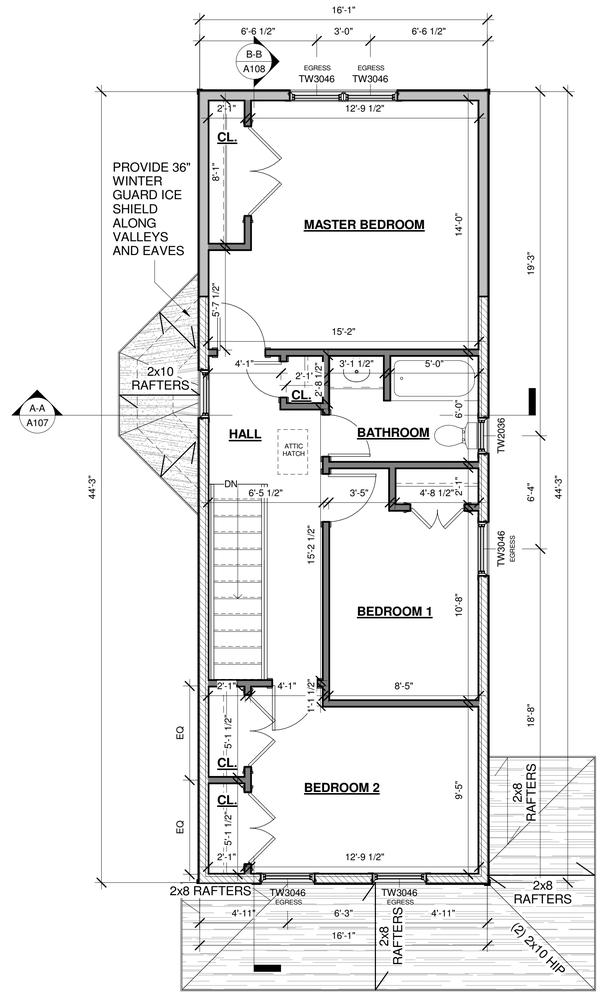


1 BASEMENT PLAN
1/4" = 1'-0"



2 FIRST FLOOR PLAN
1/4" = 1'-0"



3 SECOND FLOOR PLAN
1/4" = 1'-0"

EXIST. FOUDNATION

PROP. FOUDNATION

EXIST. 2x4 EXTERIOR WALL W/ NEW 2x2 STUD EXTENSION

PROP. 2x6 EXTERIOR WALL

PROP. 2x4 INTERIOR WALL

FOUNDATION FRAMING NOTES:

ALL ENGINEERED LUMBER IS TO BE MANUFACTURED BY i-LEVEL. ANY SUBSTITUTIONS MUST BE APPROVED BY ARCHITECT PRIOR TO PURCHASING MATERIAL.

DOUBLE FLOOR JOISTS SHALL BE PROVIDED UNDER PARTITIONS PARALLEL TO JOISTS UNLESS OTHERWISE NOTED ON PLANS.

PROVIDE JOISTS 6" APART UNDER PLUMBING OR UTILITY WALLS (TYPICAL).

ALL STEEL COLUMNS SHOWN ON PLAN SHALL BE 4"ϕ SCHEDULE 40 PIPE COLUMN WITH 6"x6"x0" STEEL CAP UNLESS OTHERWISE NOTED.

PROVIDE 1" AIR POCKET AROUND PSL OR LVL BEAM IN ALL MASONRY POCKETS. PROVIDE STL. BASE PL. OR FLASHING AS REQUIRED FOR WOOD PROTECTION.

PROVIDE SQUASH BLOCKS UNDER ALL POSTS & POINT LOADS FROM ABOVE.

PROVIDE SQUASH BLOCKS AT ALL BEARING CONDITIONS AS PER MANUFACTURER'S SPECIFICATIONS.

FOUNDATION NOTES:

ALL 12" CONC. BLOCK TO BEAR ON 24"x12" DEEP CONT. CONCRETE FOOTING.

ALL 8" CONC. BLOCK TO BEAR ON 20"x12" DEEP CONT. CONCRETE FOOTING.

ALL CONCRETE BLOCK FOUNDATION WALLS SHALL HAVE HORIZONTAL REINFORCING INSTALLED EVERY OTHER COURSE. SEE NOTE SHEET

WHERE BACKFILL EXCEEDS 6'-0" ABOVE SLAB, 12" CMU TO BE FILLED SOLID.

ALL FOOTINGS TO RECEIVE (3) #4 BARS CONTINUOUS TYPICAL UNLESS OTHERWISE NOTED

DOUBLE ALL FLOOR JOISTS BELOW PARALLEL PARTITIONS ABOVE. (SEE SPEC. SHEET A-102).

ALL WOOD IN CONTACT WITH THE EXTERIOR ELEMENTS IS TO BE PRESSURE PRESERVATIVE TREATED AS REQUIRED BY CODE.

ALL DECK LEDGERS SHALL BE FLASHED TO PREVENT WATER FROM CONTACTING HOUSE BAND JOIST.

DO NOT BACKFILL UNTIL THE FOUNDATION WALLS ARE INSTALLED AND THE FIRST FLOOR IS FRAMED AND/OR THE FOUNDATION WALLS HAVE BEEN BRACED. CONTRACTOR WILL BE RESPONSIBLE FOR BRACING OF FOUNDATION WALLS IF UNBALANCED FILL IS PRESENT ON SITE.

FRAMING NOTES:

ALL ENGINEERED LUMBER IS TO BE MANUFACTURED BY i-LEVEL. ANY SUBSTITUTIONS MUST BE APPROVED BY ARCHITECT PRIOR TO PURCHASING MATERIAL.

DOUBLE FLOOR JOISTS SHALL BE PROVIDED UNDER PARTITIONS PARALLEL TO JOISTS UNLESS OTHERWISE NOTED ON PLANS.

PROVIDE JOISTS 6" APART UNDER PLUMBING OR UTILITY WALLS (TYPICAL).

ALL POSTS SHOWN ON PLANS TO BE 3I"x3I" PSL POSTS UNLESS OTHERWISE NOTED.

PROVIDE SQUASH BLOCKS UNDER ALL POSTS & POINT LOADS FROM ABOVE.

FRAMING CONNECTIONS TO BE AS PER I-LEVEL SPECS & DETAILS UNLESS OTHERWISE NOTED.

NOTCHING OF STUDS SHALL NOT BE CUT MORE THAN 25% OF THIER WIDTH.

DRILLING OF STUDS SHALL NOT BE MORE THAN 60% OF THE STUD WIDTH AND THE EDGE OF THE HOLE IS NO MORE THAN 5/8" TO THE EDGE OF THE STUD. DOUBLE STUDS WHERE IN EXTERIOR WALLS OR BEARING PARTITIONS DRILLED OVER 40% AND UP TO 60%, NO MORE THAN TWO SUCCESSIVE STUDS ARE TO BE DOUBLED OR BORED.

BORED HOLES SHALL NOT BE LOCATED IN THE SAME CROSS SECTION OF CUT OR NOTCH IN STUD.

WHEN TOP PLATE IS NOTCHED MORE THAN 50% PROVIDE 16 GAUGE AND 1.5 INCH WIDE METAL TIE FASTENED ACROSS & TO THE PLATE AT EACH SIDE OF THE NOTCH WITH 3-8d NAILS EA., SIDE.

INTERIOR BEARING WALLS OVER 9' IN HEIGHT & FRAMED WITH 2X4 STUDS SHALL BE SOLID BLOCKED MIDWAY AT WALL.

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REVISION TABLE

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NOTES:

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SEMI-NEW CONSTRUCTION

SINGLE FAMILY RESIDENCE
1902 STRATFORD AVENUE
NEPTUNE TOWNSHIP. NJ

DATE:	02-17-2022
DRAWN BY:	DAK
SCALE:	AS NOTED
JOB #:	479
SHEET:	4 OF 9

A104

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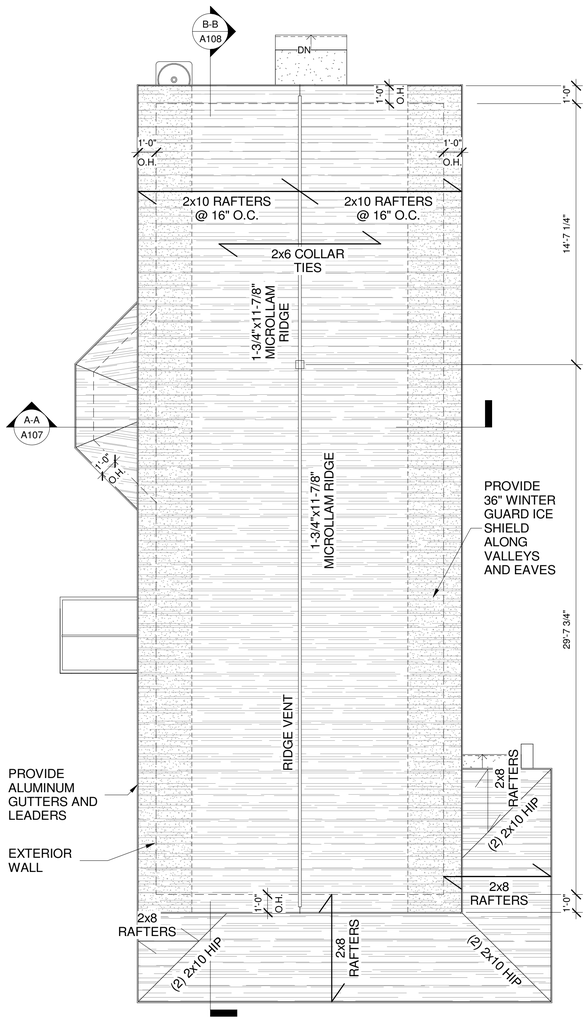
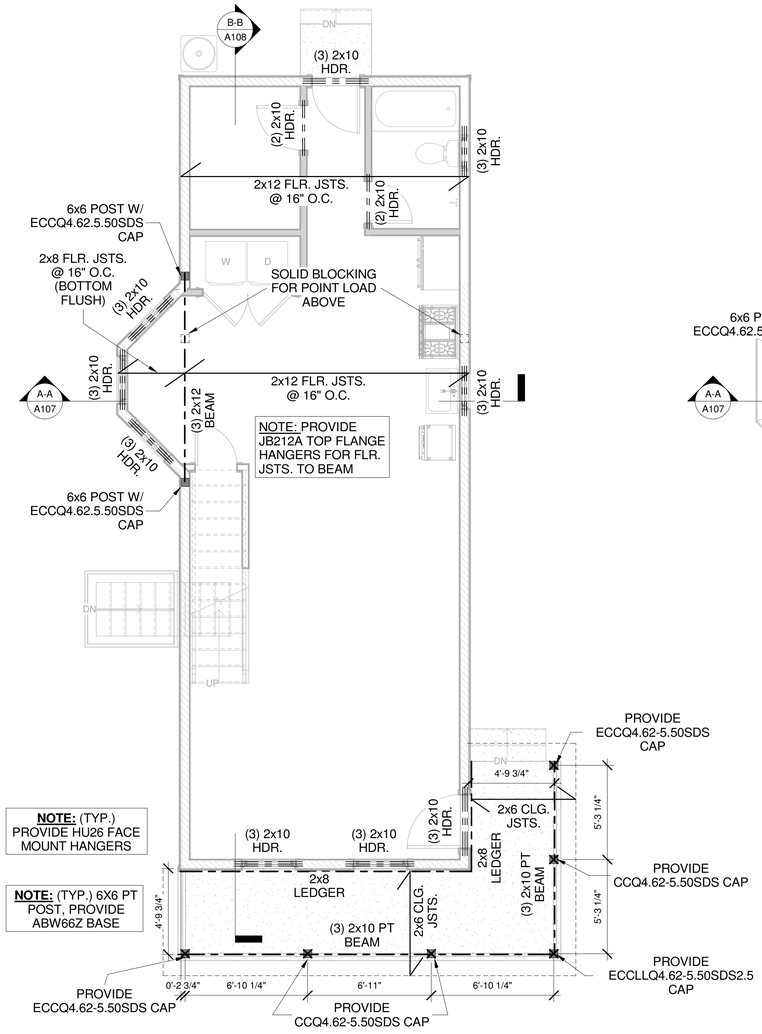
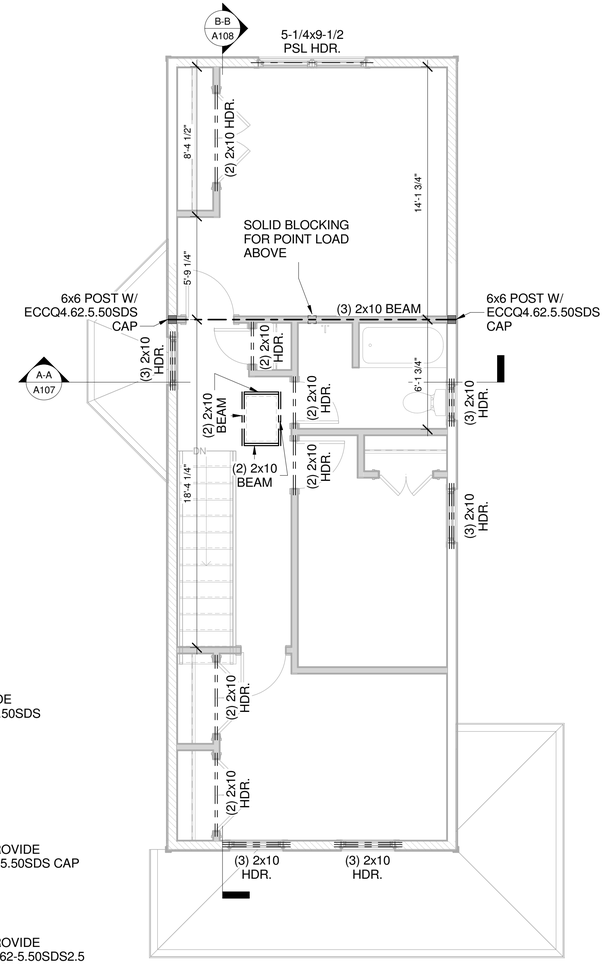


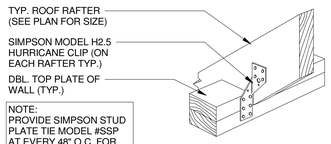
1 ROOF PLAN
1/4" = 1'-0"



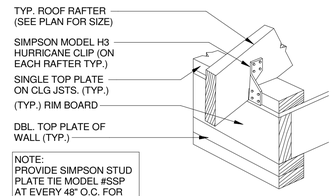
2 Second Floor Framing Plan
1/4" = 1'-0"



3 Clg. Framing Plan
1/4" = 1'-0"



NOTE:
PROVIDE SIMPSON STUD
PLATE TIE MODEL #SSP
AT EVERY 48" O.C. FOR
TOP PLATE TO STUD
CONNECTION TO ENSURE
CONT. LOAD PATH.



NOTE:
PROVIDE SIMPSON STUD
PLATE TIE MODEL #SSP
AT EVERY 48" O.C. FOR
TOP PLATE TO STUD
CONNECTION TO ENSURE
CONT. LOAD PATH.

ROOF VENTILATION:

PRIMARY STRUCTURE
CODE REQUIRES EVERY 300 SQ. FT. OF ROOF SPACE REQUIRES 1 SQ.FT. OF VENTG. THE ATTIC SPACE IS 580 SQ. FT., THEREFORE REQD VENTING IS 278 SQ. IN. WE HAVE PROVIDED 280 SQ. IN. OF RIDGE VENTS & 871 SQ. IN. SOFFIT VENTING.

ROOF NOTES:

2"x8" RAFTERS @ 16" OC. w/ COLLAR TIES @ 16" OC. UNLESS OTHERWISE SPECIFIED.

PROVIDE ICE & WATER SHIELD 3'-0" FROM ALL EAVES, VALLEYS, & RIDGES AS PER MANUF. SPECS.

PROVIDE SIMPSON HURRICANE CLIPS MODEL# H2.5 ON EACH RAFTER TYP.

ALL POSTS SHOWN ON PLANS TO BE 31/2"x31/2" POSTS UNLESS OTHERWISE NOTED.

PROVIDE BLIND FLASHING AT ALL HIPS, VALLEYS & ROOF CONNECTIONS TYPICAL.

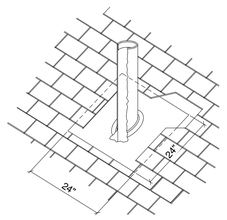
HEADER SCHEDULE

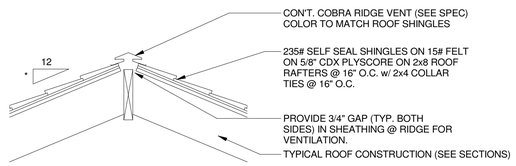
UNDER 6'-0":	(2) 2"x10" DOUG FIR #2 HDR. FOR 2"x4" WALLS
	(3) 2"x10" DOUG FIR #2 HDR. FOR 2"x6" WALLS
6'-0" +:	3 1/2"x9 1/2" PSL HDR. FOR 2"x4" WALLS
	5 1/4"x9 1/2" PSL HDR. FOR 2"x6" WALLS

ALL HEADERS ARE TYPICAL UNLESS OTHERWISE NOTED.

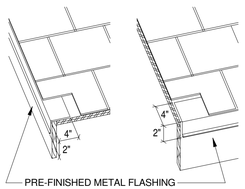
ALL NOMINAL WOOD HEADERS TO RECEIVE (2)2"x4" POST EA. SIDE FOR 2"x4" FRAMED WALLS AND (3)2"x6" POST EA. SIDE FOR 2"x6" FRAMED WALLS UNLESS OTHERWISE NOTED.

ALL PSL HEADERS TO RECEIVE 3 1/2"x31/2" PSL POST EA. SIDE FOR 2"x4" FRAMED WALLS & 5 1/4"x31/2" PSL POST EA. SIDE FOR 2"x6" FRAMED WALLS UNLESS OTHERWISE NOTED.

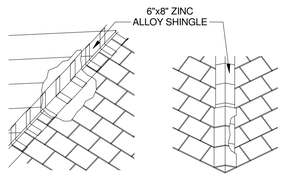




NOTES
1: PROVIDE ALL CONNECTOR STRAPS & END PLUGS
2: INSTALL AS PER MANUF. SPECS.

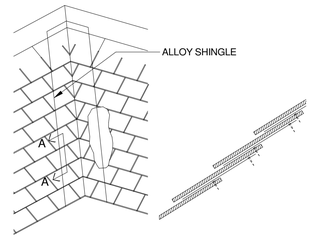


PRE-FINISHED METAL FLASHING



DORMER FLASHING

HIP FLASHING



VALLEY FLASHING

SECTION A-A

ANTHONY MALTESE, P.E., P.L.S., P.P. ,C.M.E.
PROFESSIONAL ENGINEER
NJ LICENSE No. 42579

ANTHONY J. CHURCH
REGISTERED ARCHITECT
NJ LICENSE No. 21AI00514600

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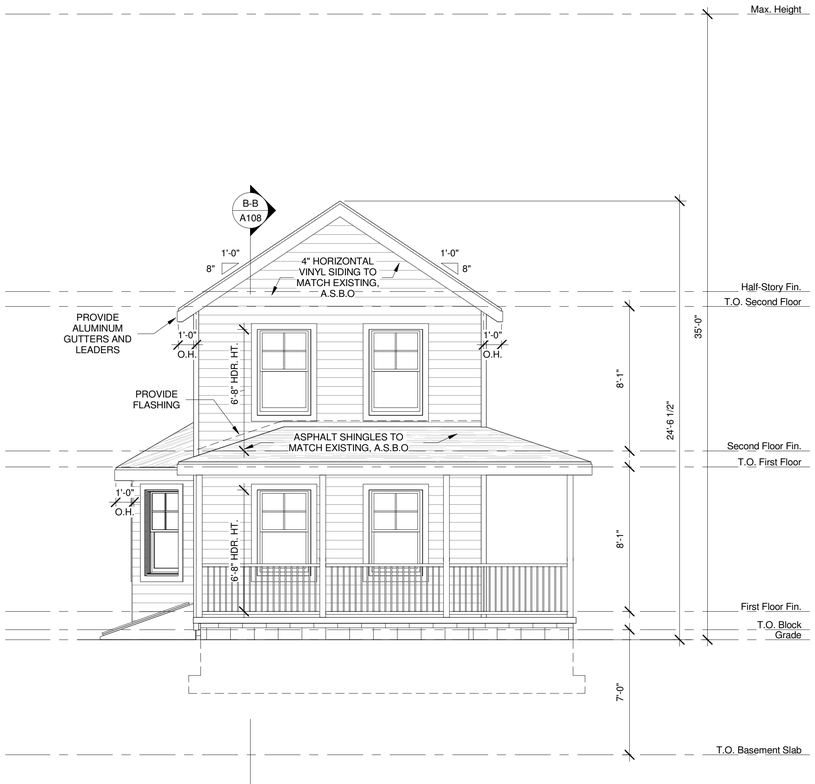
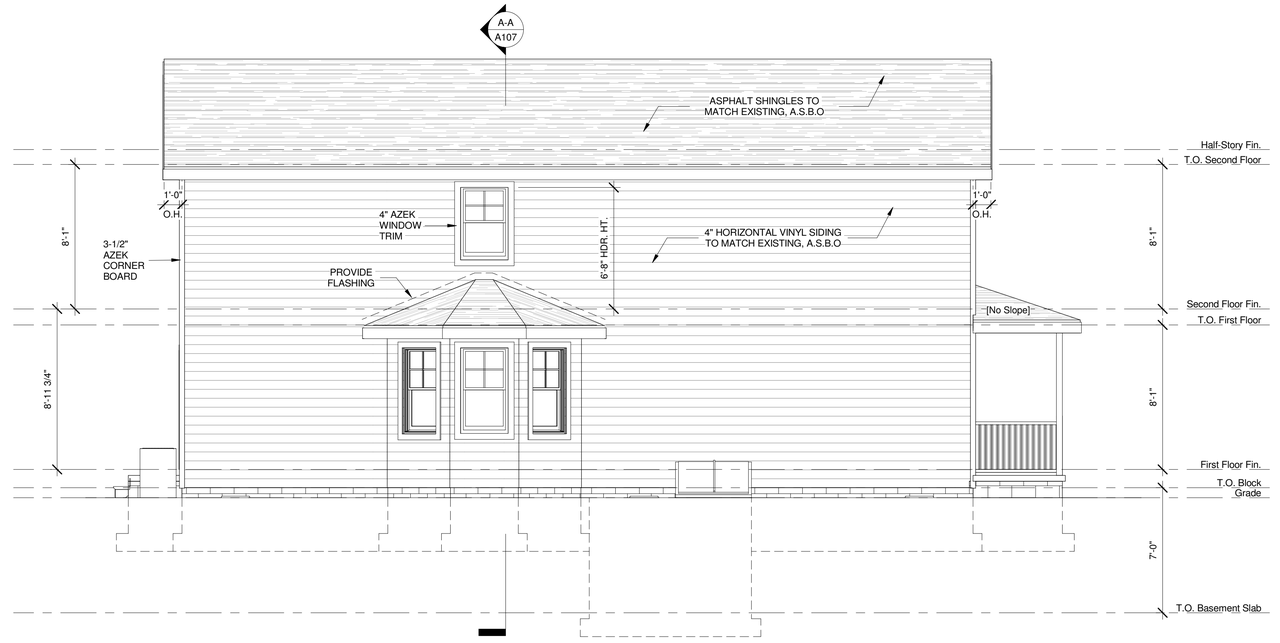
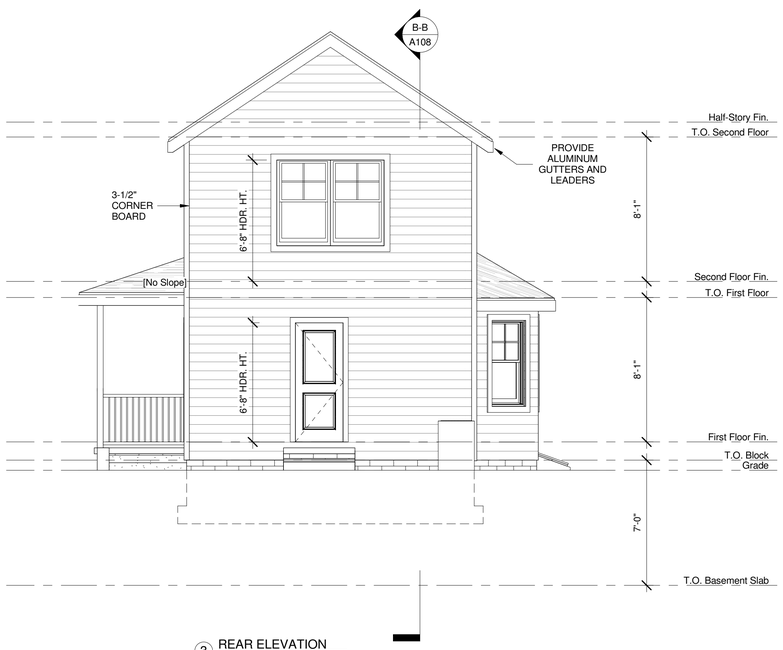


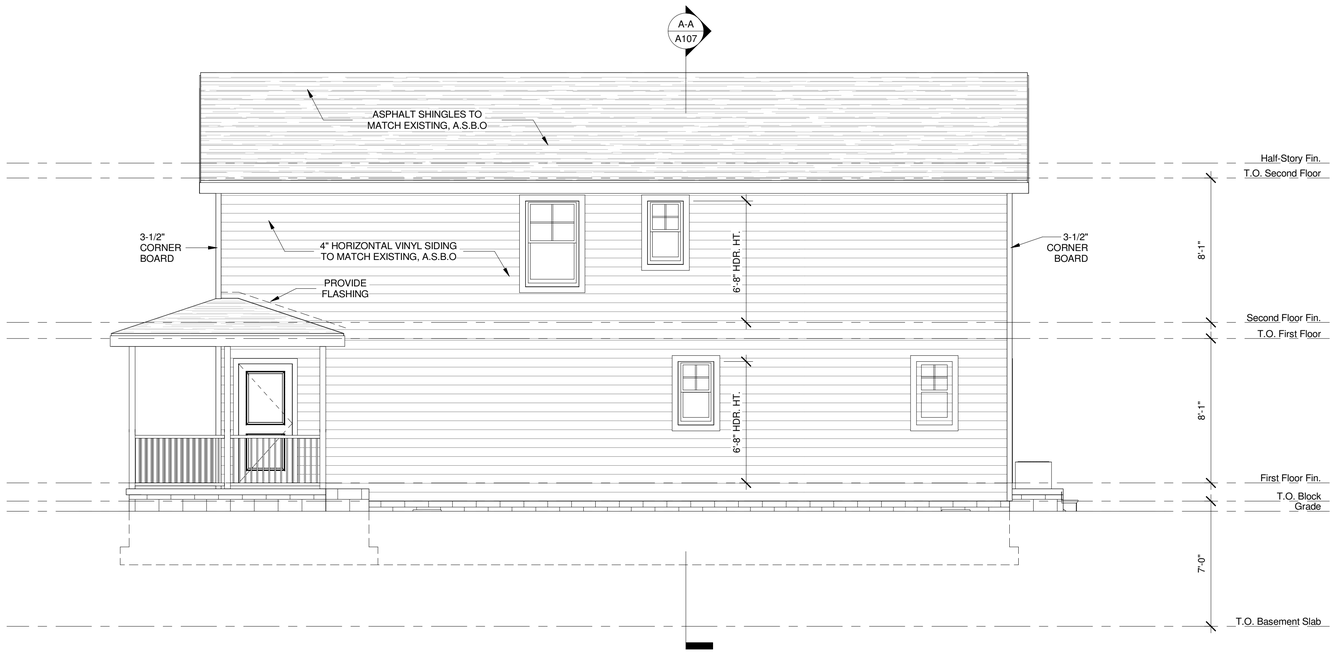
1 FRONT ELEVATION
1/4" = 1'-0"



2 LEFT ELEVATION
1/4" = 1'-0"



3 REAR ELEVATION
1/4" = 1'-0"



4 RIGHT ELEVATION
1/4" = 1'-0"

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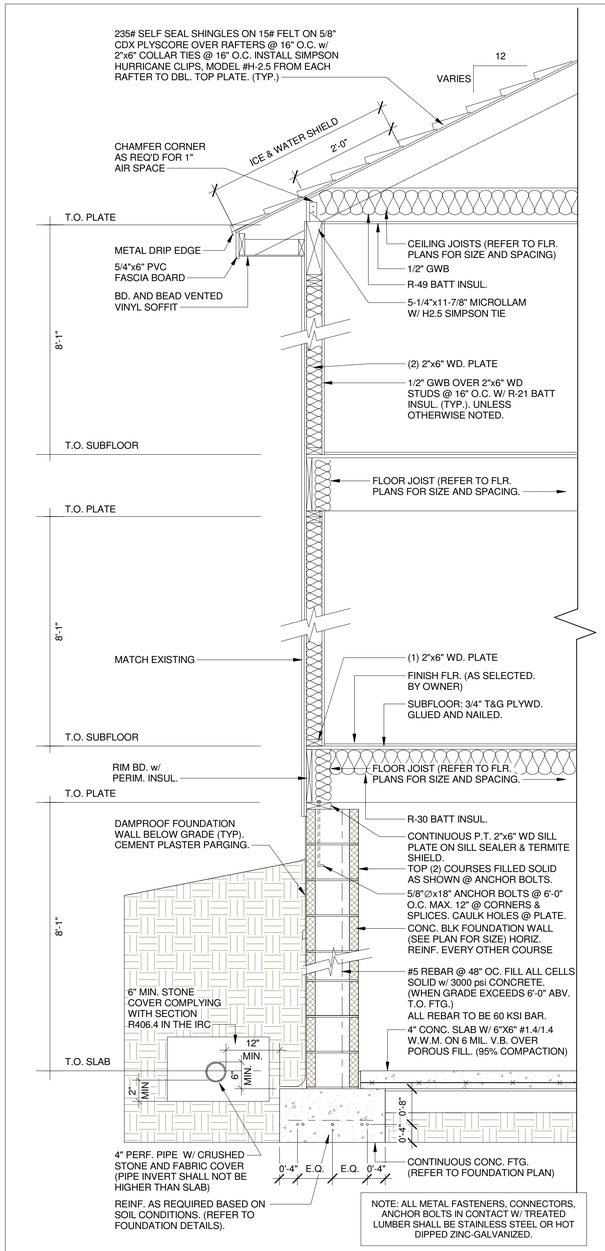

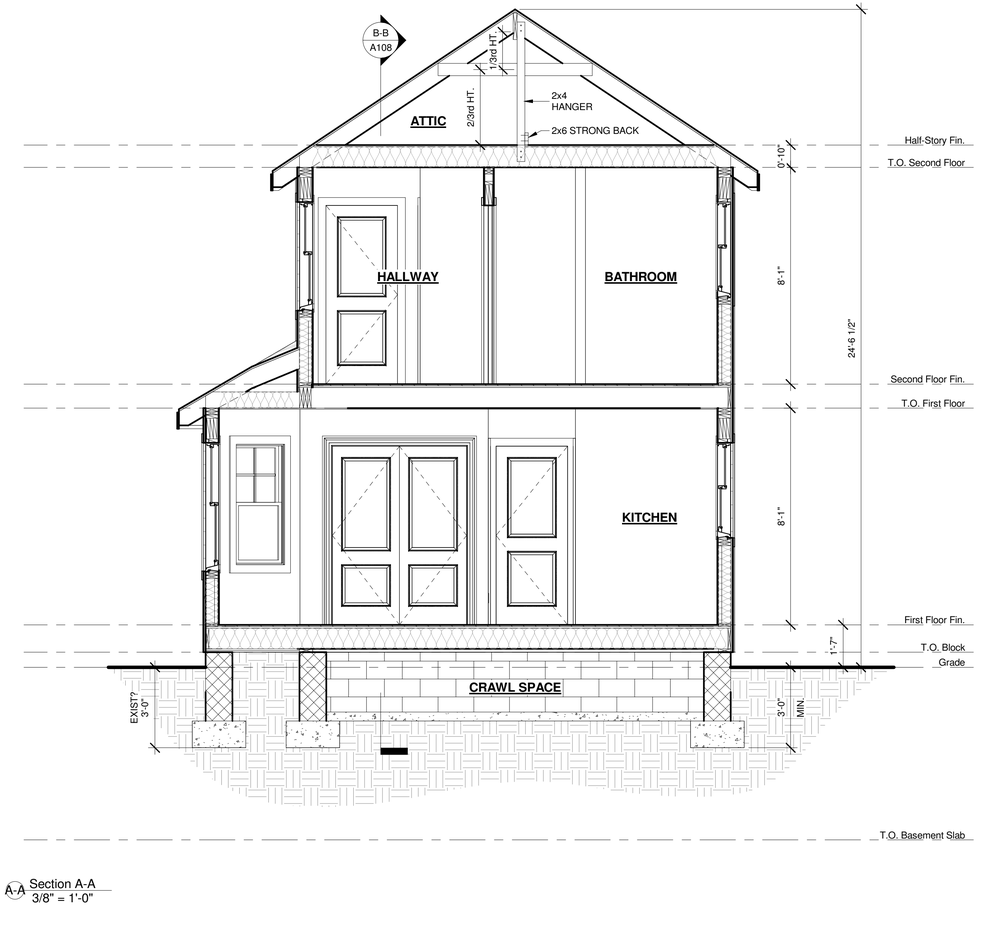

A-A Section A-A
3/8" = 1'-0"

HEADER SCHEDULE

UNDER 6'-0":	(2) 2"x10" DOUG FIR #2 HDR. FOR 2"x4" WALLS
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FRAMING NOTES:

ALL ENGINEERED LUMBER IS TO BE MANUFACTURED BY ILEVEL. ANY SUBSTITUTIONS MUST BE APPROVED BY ARCHITECT PRIOR TO PURCHASING MATERIAL.

DOUBLE FLOOR JOISTS SHALL BE PROVIDED UNDER PARTITIONS PARALLEL TO JOISTS UNLESS OTHERWISE NOTED ON PLANS.

PROVIDE JOISTS 6" APART UNDER PLUMBING OR UTILITY WALLS (TYPICAL).

ALL POSTS SHOWN ON PLANS TO BE 3"x3" PSL POSTS UNLESS OTHERWISE NOTED.

PROVIDE SQUASH BLOCKS UNDER ALL POSTS & POINT LOADS FROM ABOVE.

FRAMING CONNECTIONS TO BE AS PER I-LEVEL SPECS & DETAILS UNLESS OTHERWISE NOTED.

NOTCHING OF STUDS SHALL NOT BE CUT MORE THAN 25% OF THIER WIDTH.

DRILLING OF STUDS SHALL NOT BE MORE THAN 60% OF THE STUD WIDTH AND THE EDGE OF THE HOLE IS NO MORE THAN 5/8" TO THE EDGE OF THE STUD. DOUBLE STUDS WHERE IN EXTERIOR WALLS OR BEARING PARTITIONS DRILLED OVER 40% AND UP TO 60%, NO MORE THAN TWO SUCCESSIVE STUDS ARE TO BE DOUBLED OR BORED.

BORED HOLES SHALL NOT BE LOCATED IN THE SAME CROSS SECTION OF CUT OR NOTCH IN STUD.

WHEN TOP PLATE IS NOTCHED MORE THAN 50% PROVIDE 16 GAUGE AND 1.5 INCH WIDE METAL TIE FASTENED ACROSS & TO THE PLATE AT EACH SIDE OF THE NOTCH WITH 3-8d NAILS EA. SIDE.

INTERIOR BEARING WALLS OVER 9' IN HEIGHT & FRAMED WITH 2X4 STUDS SHALL BE SOLID BLOCKED MIDWAY AT WALL.

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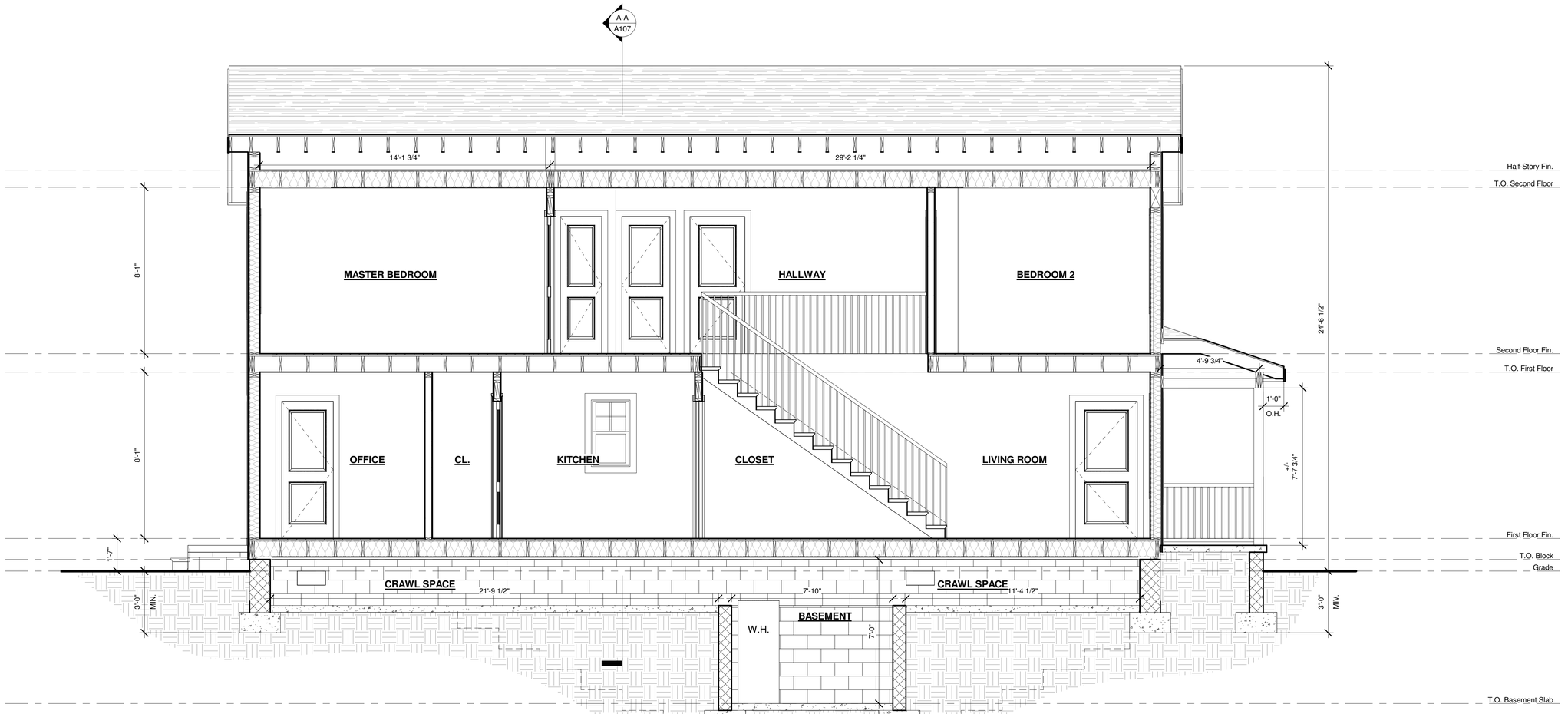
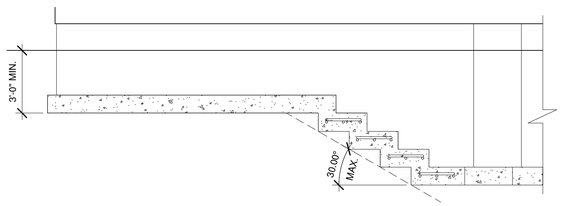
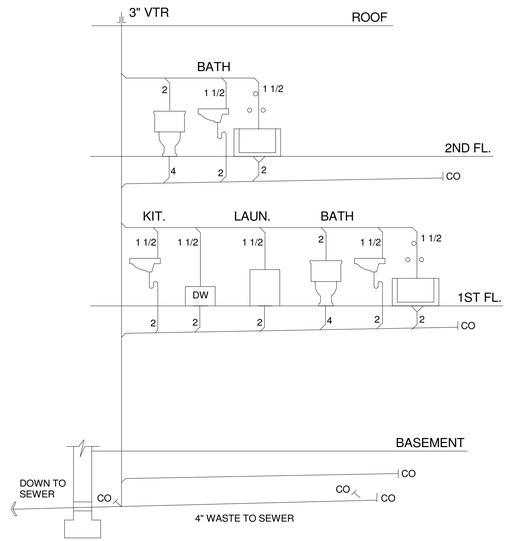


B-B Section B-B
3/8" = 1'-0"



3 STEPPED FTG. DETAIL
1/4" = 1'-0"



2 PLUMBING RISER DIAGRAM
1/4" = 1'-0"

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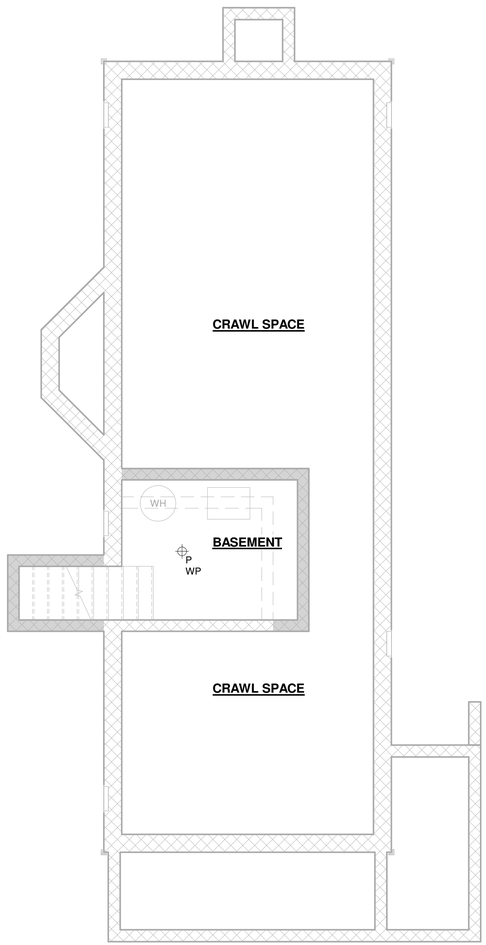
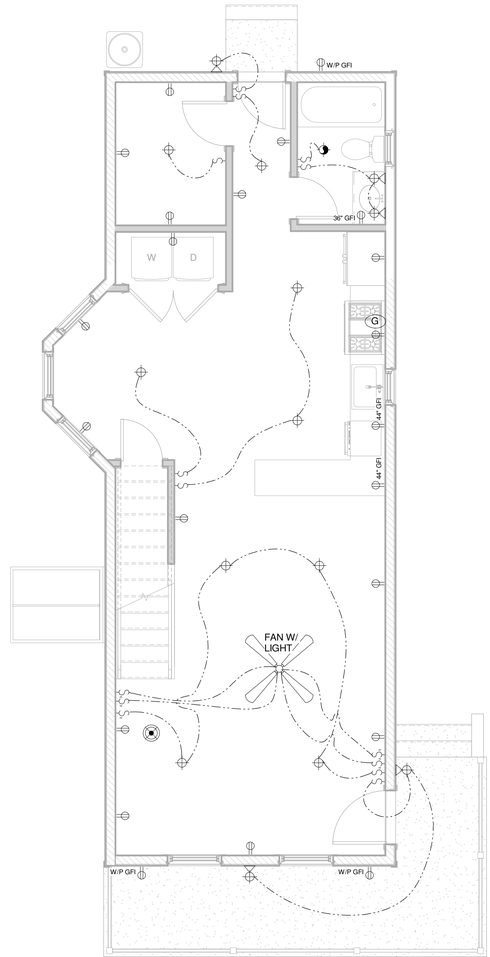
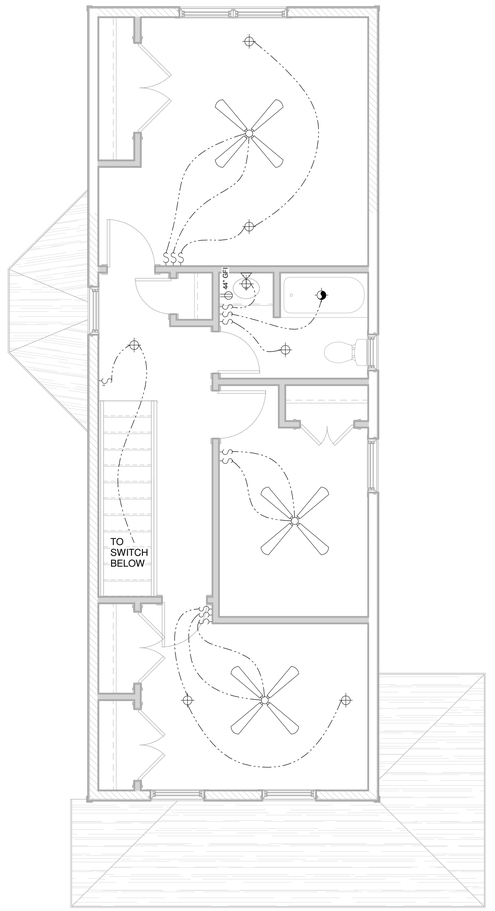


1 BASEMENT ELECTRICAL PLAN
1/4" = 1'-0"



2 FIRST FLOOR ELECTRICAL PLAN
1/4" = 1'-0"



3 SECOND FLOOR ELECTRICAL PLAN
1/4" = 1'-0"

ELECTRICAL NOTES:

ELECTRICAL FIXTURES TO BE AS SELECTED BY OWNER.

CONTRACTOR TO VERIFY LIGHTING PLACEMENT WITH OWNER PRIOR TO INSTALLATION.

ALL ELECTRICAL WORK TO BE IN ACCORDANCE WITH ALL APPLICABLE & CURRENT CODES.

SWITCHES TO BE TOGGLE TYPE, 20 AMP, 120 VOLT AC, UNLESS OTHERWISE NOTED. COLOR AS SELECTED BY OWNER.

OUTLETS TO BE 3 WIRE GROUNDING TYPE, 2O AMP, 120 VOLT AC. COLOR AS SELECTED BY OWNER.

All SMOKE ALARMS TO BE INTERCONNECTED & HARD WIRED WITH BATTERY BACK UP AS PER SECTION R314 IN THE IRC. OWNER HAS OPTION TO USE LOW VOLTAGE FIRE ALARM SYSTEM THAT COMPLIES WITH ELECTRICAL SUBCODE. CONTRACTOR TO COMPLY TO ALL CODES FOR LOW VOLTAGE SYSTEM & SHALL BE RESPONSIBLE TO PULL A LOW VOLTAGE PERMIT.

IF OWNER INSTALLS ANY LOW VOLTAGE HOUSE LIGHTING OR ALARM SYSTEMS, ELECTRICAL CONTRACTOR IS REQUIRED TO COMPLY TO ALL CODES & SHALL BE RESPONSIBLE TO OBTAIN AN LOW VOLTAGE PERMIT.

CONTRACTOR SHALL PROVIDE A LUMINAIRE CONTROLLED BY A SWITCH LOCATED AT THE REQUIRED PASSAGEWAY TO AN APPLIANCE. A RECEPTACLE SHALL BE INSTALLED AT OR NEAR THE APPLIANCE IN ACCORDANCE WITH THE ELECTRICAL SUB-CODE.

SYMBOLS LEGEND

	110 VOLT OUTLET
	QUAD OUTLET
WP	WATERPROOF OUTLET
GFI	GROUND FAULT INTERRUPTER OUTLET
	HALF SWITCH OUTLET
	WALL FIXTURE
	CEILING FIXTURE-RECESSED
SM	CEILING FIXTURE-SURFACE MOUNTED
P	CEILING FIXTURE-PENDANT
PC	CEILING FIXTURE-PULL CHAIN
	EXHAUST FAN & LIGHT
SD CM	SMOKE DETECTOR/ CARBON MONOXIDE
SD	SMOKE DETECTOR
$	1 POLE SWITCH
$3	2 POLE SWITCH
$4	3 POLE SWITCH
$D	DIMMER SWITCH
A	APPLIANCE JUNCTION BOX
G	GAS LINE
	SURFACE MOUNTED FLUOR. LIGHT FIXTURE
	SURFACE MOUNTED FLOOD LIGHT
	SURFACE MOUNTED WALL SCONCE
	CEILING FAN
	2'-0"x4'-0" FLUOR. LIGHT FIXTURE
	2'-0"x2'-0" FLUOR. LIGHT FIXTURE
	2'-0"x4'-0" A.C.T. GRID

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